

HARPER'S  PRESERVE

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EAST VILLAGE

# ARCHITECTURAL GUIDELINES

Residential Planning and Design Standards

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## I. GENERAL INFORMATION

### Philosophy

It is the intention of the Developer to create a community where residents can live with the pride of knowing that Harper's Preserve is unique. The concept of Harper's Preserve, will be protected and enhanced through thoughtful planning, creative but simple architecture and dedicated management. The cooperation of each resident is required for Harper's Preserve to meet its goals.

Harper's Preserve is a unique residential community in that it has been planned and developed to celebrate the special wildlife habitat conservation area at the heart of Harper's Preserve. This natural asset has been amplified through the thoughtful land planning and careful attention to details in the design of aspects of Harper's Preserve. Due to specific site conditions, some areas of the Community will be heavily wooded while others will be less so and others subject to reforestation criteria. The different areas of the community will be visually unified through the application of specific landscape and/or tree preservation and reforestation guidelines.

Harper's Preserve is unique in the Houston area due to a combination of topographic relief and generous allotment of open space. The abundance of open space and creative village designs allow for the promotion of certain virtues including environmental sensitivity, family togetherness, neighborliness, respect for the land, and the appreciation of small town simplicity and functionality. These values are reflected in the composition of the community structure, landscape and architectural character.

Homes should have simple geometry and restrained details. Landscaping should be simple with materials that are native & or drought tolerant species when possible.

In addition to these primary requirements, the Architectural Guidelines for the Harper's Preserve East Village that follow should be considered in the development of each home site. During the design process for a home site, (structures, landscaping, etc.) the Declaration of Covenants, Conditions, Restrictions and Easements ("Covenants") must be adhered to in conjunction with these Architectural Guidelines. As stated in the Covenants for Harper's Preserve, the New Construction Committee ("NCC") shall have jurisdiction over all new construction (original home construction) activities on the lots within Harper's Preserve. These Architectural Guidelines may be revised from time to time by the Harper's Preserve Community Association ("HPCA").

Variances to any of these Guidelines may be granted by the Architectural Control Committee ("ACC") on a case by case basis. For subsequent exterior construction by either a Builder or homeowner, plans shall be submitted to and approved by the Residential Modifications Committee ("RMC") pursuant to the policies and procedures provided for elsewhere herein.

No prior notice of any kind to any Owner need be given as to adoption or amendment of the Architectural Guidelines. It is each Owner's responsibility to review and verify the most current requirements under the Architectural Guidelines. Owners may contact the Community Manager should there be any questions.

A Neighborhood Plan of Harper's Preserve East Village is shown in **Exhibit A**.

### Methods

The Architectural Guidelines and Covenants have been designed to carry forward Harper's Preserve design philosophy while enhancing quality of life and taken together constitutes the Governing Standards. For example, the goal of preserving and enhancing the natural environment will be implemented through the design standards criteria for mixed-use development areas by the designation of street trees and/or forest preserves along roadways, building and parking setbacks, landscaping along or within parking lots, clearance/coverage ratios, the requirement for tree clearing plans and clearing permits, and fencing to protect vegetation during construction.

The Governing Standards pertain to all uses including office, retail, warehouse-distribution, church, schools, recreational, medical, institutional, and apartment development as well as other community uses in areas subject to Covenants. Separate Design Standards will pertain to multi family, townhouses & condominiums.

**Purpose of Standards**

The purpose of the Architectural Guidelines is:

1. To assist the Owner and design team in achieving the desired level of site development; and
2. To assist the Owner in expediting the architectural review of plans by the appropriate entity by letting the Owner know at an early stage what information is required for the review.
3. To enhance the aesthetics and provide for an orderly development of Harper's Preserve

**Design and Review Authority**

**A. The Covenants**

The First Amended and Restated Declaration of Covenants, Conditions, Restrictions, and Easements for Harper's Preserve (recorded in the Real Property Records of Montgomery County, Texas under 2011011454) and its Amendments ("Covenants") are legally binding upon the developed land, landowners and residents in Harper's Preserve. The Covenants cover the developed property in Harper's Preserve and they may vary somewhat from one location to another.

The Covenants establish an Association(s) to administer and enforce the Covenants within the area covered by those Covenants, and "Committees" to adopt and enforce building and use standards adopted by the Committee. The Covenants provide that every improvement must be approved by the Committee prior to construction and comply with the applicable set of Covenants and Standards adopted under the authority of these Covenants. Additional Covenants may be recorded in the future and additional property may be subjected to the Covenants in the future.

**B. The Adoption of Guidelines and Variances**

For information about the adoption of the Guidelines (and amendments hereto) and variance powers of the Committees, see section 4.02 of the Covenants.

**C. The Associations**

Harper's Preserve Community Association, Inc. ("HPCA") is a nonprofit corporation established by the Covenants governing specific geographic areas in Harper's Preserve. There may be additional associations formed in the future and established pursuant to additional recorded covenants which may adopt these P&D Standards. The Associations enforce the Covenants and provide many of the available services to residents and Owners in Harper's Preserve within their specific areas.

**D. The Committee(s)**

The HPCA appoints members who are authorized by the Covenants to adopt and enforce standards governing property use and maintenance requirements, and improvements, additions, and modifications to property within the area governed by that Association.

The design review entity or Committee(s) for Harper's Preserve is as follows:

- HPCA Architectural Control Committee ("ACC")**
- HPCA New Construction Committee ("NCC")**
- HPCA Residential Modifications Committee ("RMC")**

The ACC may choose to act in the capacity as both the NCC and RMC rather than to appoint separate Executive Committees. There may be additional committees formed in the future for new associations particularly for the mixed-use development planned along portions of SH 242 which is not a part of the HPCA.

**E. Building Code**

The Committees have adopted the following codes:

- Residential Buildings:** International Residential Building Codes, 2000 Edition, with current amendments ("IRBC") ("Building Code")

**Commercial Buildings:** International Commercial Building Codes, (ICBC) 2003 Edition, with current amendments, the National Electrical Code, 2000, International Plumbing Code, 2000 Edition, with current amendments, International Mechanical Code, 2000 Edition, with current amendments.

The HPCA has also adopted the latest edition of the Montgomery County Fire Code ("Fire Code"). All buildings must be designed in accordance with the Codes and all other applicable codes, regulations and ordinances of any other governmental entity having jurisdiction over the Property.

1. In the event of a conflict between Codes, the more stringent requirement will apply.
2. In the event of a conflict between the Codes and the Standards, the more stringent shall apply.
3. In the event of a conflict between the Standards and the Covenants, the more stringent shall apply.

**F. Initial Land Use Designation**

The Covenants establish permissible land uses and may set minimum and maximum building sizes and other constraints. Land uses and other site specific limitations may also be specified in land conveyance instruments.

**G. Local, State, and Federal Law ("Regulatory Approvals")**

In addition to city, county, state and federal laws, Municipal Utility Districts (MUD), Water Control and Improvement Districts ("WCID"), and/or other special purpose districts and regulations may apply to an improvement or project.

**H. Plat**

Subdivision Plats, Re-Plats, Partial Re-Plats, Amending Plats (or maps of land divisions within an area) recorded in the Plat Records of Montgomery County, Texas, show individual lots, property lines, minimum building setback lines, utility and other easements, street access limitations and other requirements.

**Project Contact Information**

While all lots in East Village are within the HCPA, some Lots are located in MC MUD 95 and some Lots are located in MC MUD 15.

Community Manager  
Harper's Preserve ACC

MCMUD 95 Operator  
Municipal Operations & Consulting, Inc.  
312 Spring Hill Dr., Suite 100  
Spring, TX 77386  
PH: 281-367-5511

MCMUD 15 Operator  
Regional Water Corporation  
19500 SH 249, Suite 210  
Houston, TX 77070  
PH: 281-897-9100

**Disclaimer**

Neither Declarant nor members of the HPCA, ACC, NCC and RMC nor its representative, their successors or assigns, shall be liable in damages to anyone for any actions or failure to act in connection with any approval, conditional approval or disapproval of any application for approval or request for variance, including without limitation, mistakes in judgment, negligence, malfeasance, or nonfeasance. Every person or entity who submits plans to the HPCA, ACC, NCC and/or RMC for approval agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against Declarant, the members of the HPCA, ACC, NCC and RMC, or its representatives, to recover any damages.

## II. SUBMISSION AND PLAN REVIEW PROCEDURES

### **General**

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the ACC, NCC and RMC prior to the commencement of any on-site building or construction activity.

### **Master House Plan Submittal Requirements**

Builders shall submit house plans and elevations in 11'x17' format (and/or electronic format, if requested) to the NCC along with the completed Master House Plan Approval Form. Approval of House Plans is required prior to commencement of home construction. Plan submissions shall include the following:

- Completed Master House Plan Approval Form
- Calculation of exterior brick/stone coverage pursuant to the Guidelines.
- House dimensions (width/depth), square footage (air conditioned living area), and elevations for each house plan
- List of all paint colors for the exterior shall be submitted in an electronic file or hard copy photo.
- List of all brick/stone selections shall be submitted in an electronic file or hard copy colored photo (no physical samples to be provided).

### **Individual House Construction Submittal Requirements**

Builders shall submit the completed Home Construction Application Form for each individual lot. An approved Home Construction Application Form is required for each lot prior to commencement of home construction. Such submittal shall be comprised of the following:

- Completed Home Construction Application Form
- Plot plans showing all easements, Building setbacks, existing improvements, trashcan pads, AC Pads, street trees, yard trees and proposed improvements consistent with the completed application.
- Plot plans should show areas to be preserved and reforested (as applicable).

### **Lifestyle Accessories Construction Submittal Requirements**

Owners (or Builders) shall submit the completed Lifestyle Accessories Construction Application Form for each individual proposed new lifestyle accessory construction for a house or lot. An approved Lifestyle Accessories Construction Application Form is required for each lot prior to commencement of construction.

### **Review of Construction**

The HPCA, ACC, NCC, and/or RMC may review construction in the Harper's Preserve Community on a periodic basis to ensure compliance of each residence with approved submittals. Prior to any home closing (including all new home sales and resales), all Builders and Owners must obtain compliance inspection approval from the ACC as necessary to cure any non-compliant issues. Any variations from approved submittals or improvements which have not been properly approved shall be regarded as a violation of the Covenants.

### **Fees for Plan Applications and Review of Construction**

A non-refundable fee may be charged to Builders (or Owners) submitting plans for review. Fees for these plans include master house plan submittals, individual house construction submittals, and lifestyle accessories construction submittals. In addition, fees may be charged to Builders (or Owners) for the review of construction within the Harper's Preserve Community to ensure compliance with plan approvals and guidelines. This fee will assist in offsetting costs for HPCA, ACC, NCC, and/or RMC services rendered by outside consultants and other professionals. The fee schedule will be determined by the HPCA and provided as necessary. See below for schedule of requirements and fees. These fees are subject to change at any time without notice by the ACC, NCC and/or RMC.

### III. RESIDENTIAL PLANNING AND DESIGN GUIDELINES

#### Site Planning and Site Development Criteria

##### A. General

Residences are to be planned to conform to the Covenants, Plat, Guidelines, and all applicable regulatory agencies requirements and to take maximum advantage of the natural features, existing trees and vegetation, and open space within the Harper's Preserve Community. Site planning and exterior design should present a sense of individuality while reinforcing the overall image and theme of the community.

##### B. Setback Lines and Building Lines

Front lot Setback Lines and/or Building Lines for all lots are delineated on the Final Plats for each residential Section. Special considerations will be given in situations where variances may be necessary due to unusual lot shape, tree preservation, severe topography or other site-specific determinants. Variances may be granted to allow a small portion of the driveway near the home to encroach within the side lot setback. As a general rule, the lot setbacks and development standards are established as follows:

Setback Criteria					
	Lot Widths (measured at front or rear building line)				
	80'	75'	65'	50'/55'	55' Patio
<b>Primary Structures</b>					
Front Lake Palmetto Drive	Varies 25'-40'	Varies 25'-40'	NA	NA	NA
Front Other Streets	Varies 20'-25'	Varies 20'-25'	The great of 20' or easement width(s)	The greater of 20' or easement width(s)	The greater of 20' or easement width(s). See Note 1.
Side	5' & 10' on local side street	5' & 10' on local side street	5' & 10' on local side street	5' & 10' on local side street	1' – zero side & 9' on non-zero side or as shown on Exh.E-8
Rear	15'	15'	15'	15'	10'
<b>Accessory Structures</b>					
Front Lake Palmetto Drive	75'	75'	NA	NA	NA
Front Other Streets	70'	70'	70'	70'	70'
Side	5' & 10' on local side street	5' & 10' on local side street	5' & 10' on local side street	5' & 10' on local side street	5' & 10' on local side street
Side Detached Garage	5'	5'	5'	5'	N/A
Rear	5' or Easement Width(s)	5' or Easement Width(s)	5' or Easement Width(s)	5' or Easement Width(s)	5' or Easement Width(s)

Note 1: Patio homes with “swing in garages” may meet the front setback requirement of the lesser of 20' or fronting easement width with approval of the NCC. In any event, the patio home fronting setback may not be less 10'.

##### C. Garage Placement and Driveways

###### 1. Driveway Widths

- Front loaded Two and Three car garage width driveways shall not be wider than 1' outside of each outer garage door's frame. Two car garages shall taper down to 18' wide where the driveway and lower portion of the sidewalk meet. Three car garages shall taper down to 22' where the driveway and lower portion of the sidewalk meet. See the example below:



- Front loaded garages along Lake Palmetto Drive (parallel to Harper's Trace) maximum 14' wide at curb & right-of-way.
- Rear loaded garages maximum of 14' wide at curb and right-of-way.
- For swing in garages, the width at garage shall be 18' for 2 car garage and 27' for 3 car garage. The curb width shall be a maximum of 14' wide.
- Driveways passing under a portion of the house into an auto court may be a minimum of 10' under the house.

## 2. Driveway Locations

- One driveway curb cut per Lot.
- No closer than 2' from property line or farther than 5' from property line at curb (except for patio homes).
- 80', 75' & 65' products shall have a 2' planting area between driveway and house for rear loaded garages.
- Variances may be granted to allow driveway encroachments into side lot setbacks but in no case can drainage be adversely affected by the driveway intrusion into the side setback(s).
- See **Exhibit E-8** for driveway location for Lots in Bayou Bend (55' Patio).

## 3. Driveway Placement and Configuration

- Corner lots - Opposite property line from corner intersection.
- Adjoining Open Space - Opposite property line from open space.
- Mirroring - Driveways are generally limited to one mirroring per block length. Where special conditions occur such as specimen trees to be saved or mid-block open spaces, more than 1 drive way mirroring may be permitted.
- Side Loaded Garages (75', 65' or 50'/55' product) - Not Permitted
- Swing in Garage (80', 75' or 65' product) – Permitted
  - Swing in Garage Plans are strongly encouraged by the NCC to be used on 80' lots along Lake Palmetto Drive facing Harper's Trace. The reason for this is as follows:
    - Create less garage door visibility.
    - Faces the main marketing route for the project.
    - Creates larger parking area behind front fence.
    - Creates more depth on front elevation.
    - Allows for narrower driveway width and gate.
- Swing in Garage (50'/55' product) – Not Permitted
- Swing in Garage (55' Patio – zero lot line product) – Permitted
- Patio Homes – Water, sewer and drainage facilities have been designed on the basis of a zero side yard Lot line pattern per **Exhibit E-8**, which assumes that straight in driveways into garages will be designed and located on the zero side line. Non-conforming driveways to this design standard (i.e.: swing-in or hook-in driveways) are allowed provided the driveway does not conflict between driveway and curb inlets, hydrants, or other utility will occur. Builder/Owner shall assume all risk and obligation for driveway design conflicts.

## 4. Required Mirrored Driveway Mitigation

- A solid single row of dwarf wax myrtle shrub set 3' off of one driveway edge from 10' back of right of way line to garage face.

## 5. Driveway Gates

- 80' product (Lake Palmetto Drive fronting lots) - Gates shall be constructed of metal pickets and shall be "in line" with front metal fence. Gate design must be approved by the HPCA. Mechanical and electrical gate operating equipment must be screened from public view. (See **Exhibits E-4A through E-4E**)

- 70', 65' and 50'/55' products - Permitted only where a rear garage is used and gates must be 5' back of front building face constructed of metal pickets. Mechanical and electrical gate operating equipment must be screened from public view.

**D. Sidewalks and Walkways**

1. Interconnectivity & Extension

- Builder shall construct sidewalks and wheelchair ramps ("sidewalk ramps") in accordance with City of Conroe standards and as shown on the "Sidewalk and Trail Plan" (See **Exhibits B-1, B2A, B-2B, B-3A, B-3B, and B-3C**).
- Concrete sidewalks must be constructed along the entire front of interior/corner lots and side width of corner lots (including wheelchair ramps) running parallel to the street and located within the street right-of-way, at the property line.
- The Builder shall be responsible for the installation of sidewalks on the sides of corner lots, connecting sidewalks by builder across to adjacent Lots, connecting sidewalks across adjacent gaps in the back of cul-de-sacs or greenspaces and connecting sidewalks across adjacent gaps caused by easements between Lots or adjacent platted access points. Builders shall also be responsible for connecting sidewalks across open spaces to the community trail system. If different builders own lots on either side of a connectivity gap, each builder shall be responsible for 50% of the entire length of sidewalk extension and shall construct their respective portion with the sidewalks for the home.

2. Materials

- Sidewalks shall be concrete and front yard walks shall be either (i) concrete or (ii) special paver on concrete base subject on 80' Lots fronting Palmetto Lake Drive see **Exhibit E-3 and Exhibit E-3A** for details. Owners shall be responsible for the costs for, maintenance, repair and replacement of all driveway pavers in their driveway and/or sidewalk required to be installed. Pavers along the walkways (from the property line to the home's door) and driveways is recommended for each 80' wide lot on Lake Palmetto Drive.

**Residential Driveway Paver band for 80' Lots Fronting Palmetto Lake Drive (Street pavers are thicker)**

Manufacturer:	Pavestone
Pattern:	Plaza Stone Rectangle & Square Muster K
Border:	Sailor Course
Size:	60mm (±2-3/8" ht.)
Color:	Forest Blend

- Sidewalks are to be detailed the same and constructed in a consistent manner both structurally and aesthetically.

3. Front Yard Walks (Street to Homes)

- Constructed by Builder
- Width-3' minimum & 4' maximum

4. Front & Side Sidewalks (Parallel to Streets)

- Constructed by Builder and/or Association in accordance with **Exhibit B-1**, "Sidewalk and Trail Plan"

**E. Fences**

1. Fences by HPCA

- The HPCA may, at its sole discretion, erect fences along the side and rear property lines of lots. Typically, these walls will be located outside of a residential lot but in some cases, such walls and/or fences may fall "on the lot line". Homeowners may not attach structures, cabling or vines to a HPCA constructed fence or wall or otherwise modify such fence. Fence materials and dimensions will vary by location. See fence types and locations on the "Fence Type Key Map" (See **Exhibit C-1**).

2. Community Fence By Builder or HPCA

- Materials – Community Fence shall be constructed of “Hardi Plank” and shall be single-faced with 1"x6" pickets placed side-by-side and with staggered tops as illustrated on the “Community Fence Detail” (See **Exhibit C-2A**). Fence posts shall be 4"x4" cedar, set in concrete and spaced no more than eight (8) feet apart. Community fence shall be painted on both sides with two (2) coats of Sherwin Williams 6163 Grassland.
  - Location & Layout – Community Fence shall be constructed in location as illustrated per **Exhibit C-1**, “Fence Type Key Map” and detailed further on **Exhibit C-3A** and **Exhibit C-4**. Community Fence shall be constructed with boards faced out to street or reserve and must stop a minimum of 10’ (and maximum of 20’) back from building front face. For Patio home product, Community Fence shall be constructed with boards faced out to street or reserve and must stop a minimum of 5’ (and maximum of 15’) back from building front face unless otherwise approved by the ACC or NCC.
3. Metal Fence By Builder or Homeowner
- Materials – Metal Fence shall be constructed of welded steel panels detailed further on **Exhibit C-2C** and shall be black in color.
  - Location & Layout – 4’ Rear Metal Fence shall be constructed in locations along lakes and open space areas as shown on **Exhibit C-1**, “Fence Type Key Map” and further illustrated on **Exhibit C-3A**, “Lake & Open Space Rear and Side Fences & Screening”. Rear yard Metal Fences on corner lots are to turn and continue along the side property line for approximately 24 feet and meet side yard fence. In addition, 4’ Metal Fence and Driveway Gate shall be installed along front yard of lots facing Lake Palmetto Drive as illustrated per **Exhibit E-2**, “Lake Palmetto Drive Streetscape Elements” and **Exhibit E-3** “Lake Palmetto Drive Streetscape Elements - Additional”.
4. Rear Yard Fence by Builder or Homeowner (not including Community Fence)
- Materials - Wood for all fences other than where metal picket fences are required. Fencing that includes diagonal and horizontal planks (except for rot boards and caps), vinyl or plastic fencing, chain link fencing or any other fencing not approved by the NCC or RMC is strictly prohibited.
  - Good Neighbor Fences (Neighborhoods of Harper’s Trail, Bayou Bend, and Spoonbill) – Rear fences along adjoining lots shall be constructed as “Good Neighbor” fences with alternating good side out panels. No wood fences should be visible along streets, open spaces and perimeter conditions within the community.
  - Good Neighbor Fences (Neighborhoods of Palmetto Place, Palmetto Park, and Lake Bend) – Rear side fences along adjoining lots shall be constructed as Type 5 Fence (See Exhibit C-2D) in which good side fence faces each lot. No wood fences should be visible along streets, open spaces and perimeter conditions within the community.
5. Side Yard Fence by Builder or Homeowner (not including Community Fence)
- Materials - Wood for all fences other than where metal picket fences are required. Fencing that includes diagonal and horizontal planks (except for rot boards and caps), vinyl or plastic fencing, chain link fencing or any other fencing not approved by the NCC or RMC is strictly prohibited.
  - Good Neighbor Fences (Neighborhoods of Harper’s Trail, Bayou Bend, and Spoonbill) - Side fences along adjoining lots shall be constructed as “Good Neighbor” fences with alternating good side out panels (except for side fences which have metal picket in the rear and have exterior yard visibility). No wood fences should be visible along streets, open spaces, or from public areas within the community (except those incidental portions of a side fence that may be visible through the rear view through a metal picket fence which should be double boarded).
  - Good Neighbor Fences (Neighborhoods of Palmetto Place, Palmetto Park, and Lake Bend) – Side fences along adjoining lots shall be constructed as Type 5 Fence (See **Exhibit C-2D**) in which good side fence faces each lot. No wood fences should be visible along streets, open spaces and perimeter conditions within the community (except those incidental portions of a side fence that may be visible through the rear view through a metal picket fence which should be double boarded).
  - Double Board Requirement- Those side fences that are visible through a rear metal picket fence should be double boarded (not Good Neighbor). These conditions may occur where lots border a lake, parks and greenspaces and they have a view of such lake, park or greenspace.

## 6. Front Yard Fence by Builder or Homeowner

- Not permitted except for 4' Metal Fence installed by the builder along the front of select Lots located on Lake Palmetto Drive per **Exhibit E-3** "Lake Palmetto Drive Streetscape Elements - Additional".

## 7. Rear Yard & Side Yard Access Gates

- All houses shall provide a minimum 3' wide solid hardi-plank and latching gate access to side yard preferably on garage side of house facing the street. In addition to the rear yard access from the front yard, lots whose rear lot lines abut a park or open space may have a 4' wide latching and closing access gate to such park or open space areas. The gate shall be constructed of the same materials as the fence and detailed consistent with the fence.

## 8. Fence Maintenance

- All fences, whether constructed by the HPCA, Builder, or Owner shall be maintained consistent with the Community-Wide Standard. In the event a fence or wall is damaged or destroyed, the Owner shall repair, repaint and/or recondition the same at Owner's Expense within three (3) weeks of the damage.

## F. Lot Grading & Drainage

In general terms, during the construction of homes and thereafter, all lots should be prepared in such a manner and maintained so that positive drainage is maintained away from the house and into a drainage system as provided for each lot or lots. In many situations, the natural or man-made drainage patterns for an individual lot and the neighborhood as a whole may cause adjacent properties to commingle storm water runoff in common drainage areas such as yard swales that are discharged into the permanent access and utility easement and storm water collection system. Homeowners must ensure that the replacement of any improvements or landscaping does not materially impede water flow in common drainage areas. Beyond the natural drainage patterns, homeowners may not significantly increase the amount of water flowing onto a neighborhood lot nor may they block the normal flow from an adjacent lot into a common drainage area. On each lot, a three (3') foot drainage easement along the side property lines and a five (5') foot drainage easement along rear property lines are hereby reserved in favor of the Declarant and HPCA for drainage purposes. For Patio lots, there is also a 5' wide construction, maintenance, and drainage easement on the non-zero side of each Lot for the shared use by the adjacent Owner. Any improvements in this area which would hinder the construction or maintenance of the neighboring dwelling or which would restrict surface drainage are prohibited.

Builders shall make every effort to direct the downspout to outfall directly onto the lawn. The lots should have enough grade for the water to flow towards the pavement without the need of a pipe. In the event a builder determines it is absolutely necessary to pipe the gutters and drain it towards the pavement due to field conditions. Builders shall construct it as follows (i) install pop up drains a minimum distance of 5' from the back of the curb or (ii) shown in the attached exhibit 1 – 2 & 1 - 2 ("drain requirements"). Instead of the home builder installing a pop up drain, the home builder will be required to cut the curb and extend the pipe towards the gutter line and re-pour the curb once complete.

## G. Tree Preservation

In as much possible, existing trees shall be preserved in the front yards of all homes. Consideration should be given to the health of the trees and their proximity to the building foundation(s). It is strongly recommended that rear yard trees also be preserved where feasible. In particular, the houses fronting Lake Palmetto Drive have been given deep setbacks and are specifically planned in this way to enable the preservation of the forested character of the site through front yard tree preservation. Tree preservation may have an impact on lot drainage. To further preserve the natural forested environment, drainage must be designed to maintain the natural ground elevations and natural drainage patterns as much as possible. As a result, some lot areas may not be dry at all times of the year, and in some extreme cases, the natural grade can cause isolated pockets that may trap standing water for a time period; however this condition is a normal byproduct of tree preservation.

## H. Berms

Use of berms is not permitted in areas of a lot which is visible to fronting or siding streets.

## I. Utilities and Utility Easements

A lot may have easements for drainage, utilities, the Association, or in unusual circumstances special access. Easements will generally be designated on a recorded plat or in the Supplemental Declaration of Covenants, Conditions and Restrictions; however there may be circumstances where an easement has been dedicated by separate instrument. When in doubt, seek the assistance of a registered professional land surveyor. The Owner, and not the Association, is responsible for the identification of all easements. All power lines, telephone lines, cable lines, etc. must be underground on any portion of a lot except for primary distribution lines and ancillary equipment such as pedestals or transformers. Owners are required to completely screen transformers and pedestals and other above ground utility facilities with landscaping in front and/or side yards.

**Architectural Standards**

**A. Neighborhood Architecture and Styles**

In general, it is not the intent of these standards to dictate specific architectural styles that must be used within the Community, but rather to give the Builders a set of guidelines that will provide flexibility while achieving continuity and harmony. While not specifying a particular style, the home designs should be simple and restrained.

Visually confusing, loud or disordered facades (including roof forms, massing, window and door shapes and sizes) should be avoided. It is important that the general proportions of the home, including the windows, doors, and other exterior architectural elements result in a harmonious overall composition.

The main entrance of the home should have a sense of prominence that is reflected in the design. An entrance proportioned to convey a sense of human scale is more appropriate than one with exaggerated dimensions.

**B. Massing**

1. Building Massing

- Generally, the building mass should be “broken up” through a combination of roof forms and floor plan configuration. It is understood that a “box” plan is preferred from the perspective of efficiency but the reverse is generally preferred from the perspective of the streetscape. Each Builder is expected to balance these sometimes conflicting objectives through its own creative resources. In doing so, the economy of plan and visual interests will both be served. Wherever possible avoid weakly detailed elevations on corner lots.

2. Corner Lots

- The NCC will look closely at the floor plans and elevations proposed for corner lots and reject any house plans that do not balance the needs of efficiency with that of an attractive streetscape. One story masses on corner lots are preferred where possible. The materials for a corner house should carry the front elevation materials and details around the entire visible side street elevation. Similarly, the landscape plans for corner lots should be exemplary in design and material selection and compliment the chosen floorplan with as much emphasis in the landscape treatment of the side yard condition as the front.

**C. Home Size and Product Distribution**

- Lots designated for use as Model Homes for sales purposes shall be exempt from the square footage requirements, and plan repetition requirements hereof as required and must meet such requirements set forth by the Declarant. The NCC may also grant variances and/or or modify these requirements by separate addendum by lot, section, product or other method of grouping at any time and without advance notice.

1. Square Footage and Minimum House Width

	Lot Widths				
	80'/85'	70'/75'	60'/65'	50'/55'	55' Patio
Minimum House Size 1 Story	3500 SF	3200 SF	2400 SF	1800 SF	1800 SF
Minimum House Size 2 Story*	3700 SF	3400 SF	2600 SF	2000 SF	2000 SF
Maximum House Size	N/A	4550 SF	3600 SF	3200 SF	3200 SF
Minimum House Width	65 FT	54 FT	44 FT	34 FT	39 FT

\*A 2 story shall be defined as a house with a stairwell.

2. Housing Plan Repetition

House Plan	Elevation	Street Side	Number of Lots Between
Same	Same	Same	3
Same	Same	Opposite	3
Same	Different	Same	2
Same	Different	Opposite	2

D. Exterior Materials

1. Masonry/Brick Requirements (unless otherwise approved by the ARC).

	Lot Widths				55' Patio
	80'/85'	70'/75'	60'/65'	50'/55'	
Corner Lots & Lots Siding Open Space (1 Story)	75%	75%	75%	75%	75%
Corner Lots & Lots Siding Open Space (2 Story)*	65%	65%	65%	60%	60%
Interior Lots (1 Story)	75%	75%	75%	75%	75%
Interior Lots (2 Story)*	65%	65%	65%	60%	60%

\*A 2 story shall be defined as a house with a stairwell.

- Lots that adjoin Lake Palmetto Drive or entryways to Villages and /or adjoin collector streets or which are in the front of the subdivision may be required to have **increased** masonry requirements (up to 100% save and except windows, openings and accents) on sides which are visible from a street or reserve. **See exhibit E-10.**
- Brick or stone with some stucco should be predominant on street front elevation. Well designed and detailed shiplap or other traditional siding designs combined with traditional timber and or stone detailing/accents may be acceptable in percentages not required to be Masonry and/or Brick. Gable ends should be well detailed.
- Garages Front - Must match main house in material and detail with sufficient architectural detail.
- Garages Rear - Do not have to be predominantly masonry except additional requirements may apply where the rear and/or side of the garage is publicly visible.

2. Exterior Material Palette & Mix

- Walls - Predominant materials limited to three (not including trim, windows & doors). Half-timber walls are not permitted.
- Stucco - Stucco Board is not permitted. Materials and methods must meet Cement & Plaster Institute (CPI) standards or better.
- Siding - All siding must be Hardi-Plank or equal. Hardi-Plank paneling without expressions of unit size lumber is not permitted. Metal, vinyl and aluminum are not permitted.
- Wood Trim - Where used, must be Number 2 finish grade or better and must be primed and painted or sealed and stained. Medium density overlay (MDO) exterior grade is acceptable.
- Stone & Cultured Stone - The use is encouraged on all homes.
- Brick - Sand formed, solid and muted colors are preferred. Wire cut multi colored brick are not permitted. Distressed finishes are not permitted. **Red color bricks are prohibited.**
- Mortar Joints - Mortar colors shall be in gray or sand tones. Joints may not be "slump" type finish.

3. Exterior Color/Material Schemes

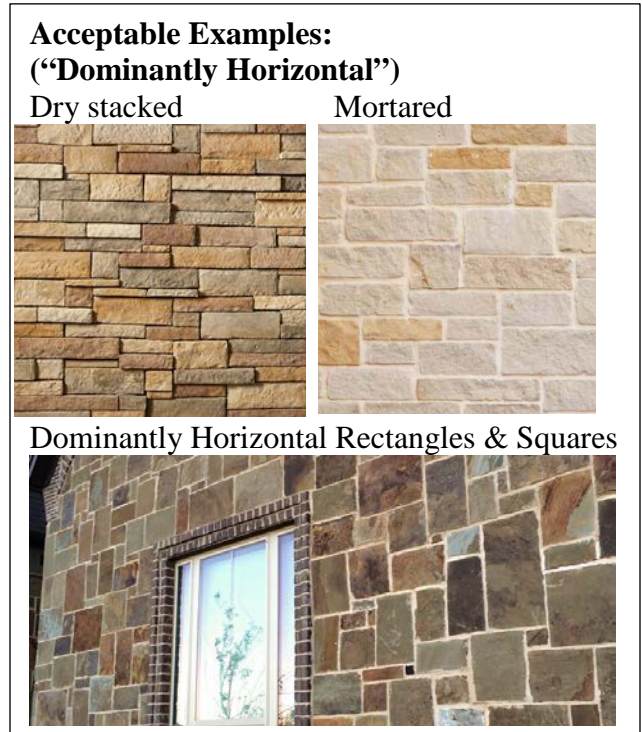
# HARPER'S PRESERVE - EAST VILLAGE ARCHITECTURAL GUIDELINES

- The number of different **primary** materials on the exterior walls of a home shall be limited to three. A primary material is defined as a material used on more than 30% of the exterior front or side elevations' wall surfaces. Permitted materials shall include:

**Brick:** "wood mold" type modular brick is preferred; no wire cut brick. "King & Queen size" bricks are acceptable.—Acceptable color range includes mid-range colors and buff tones. Bright and highly contrasting colors are discouraged other than for use as detail such as in a cornice, pediment or archway. **Red color bricks are prohibited.**

**Mortar:** Natural colors; some contrasting colors maybe used to accent sections of the exterior

**Stone:** Should be laid up in dominantly horizontal courses and not applied in a two-dimensional "flagging like" or "peanut brittle" appliqué fashion



**Stucco:** Sand float finish or light texture is preferred; heavily textured stucco is prohibited. Stucco board may only be used on ancillary portions of the home (i.e. Chimney's and/or gables) otherwise true stucco is required.

**Wood or wooden-appearance:** Hardi-plank, or cementations siding, ship lap, lap board, shingle and board & batten cladding may be used but require traditional wood details. Where used, wood shall be a minimum Grade of #2 and shall be stained and or primed and painted sufficiently to protect the material from dry rot and other forms of deterioration caused by inadequate protection or deficient construction or detailing.

- Exterior Colors - The number of dominant colors for the main elevation materials on the exterior walls of a home is limited to two. Permitted colors include white, warm tones, muted primaries, pastels and other restrained colors. Contrasting but complementary accent colors may include blues, yellows, browns, warm grays and greens. High contrasting accent colors should not be primary colors but rather muted or subdued tones should be used.

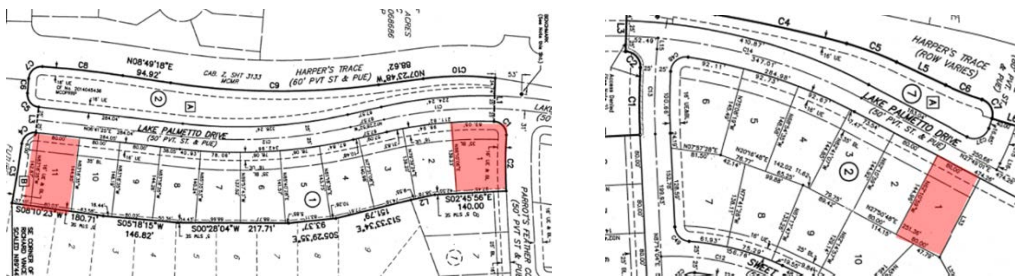
## E. Chimneys

All Chimneys located on an exterior wall shall be constructed of brick, masonry, stucco siding or other material consistent with the predominant exterior wall finish.

## F. Roofs

Unless otherwise specified by the NCC, roofing shall be minimum 25-year warranty composition shingles and should be “algae resistant treated”. Color shall be shadow black or equivalent. The final color and type must be approved in advance by the NCC. Primary roofs may be either dominantly hip or gable type construction with a minimum pitch of 8 in 12. Prairie Style or Crafts Style hip roof design is chosen. For lots greater than 65’ wide 5 in 12 predominant sloped roof may be used when the elevation design is “true” to the massing and details of the aforementioned design styles. Secondary roofs throughout Harper’s Preserve may have a pitch ranging from 4 in 12 to 8 in 12. Simple roof shapes are preferred. Complex roof forms with elaborate ornamentation and multiple ridges and peaks should be avoided. Gable or shed type roofs are permitted for porches, roof transitions and accessory buildings. Where used as a shed porch roof, and depending upon materials used, a 3 in 1 pitch may be acceptable. Notwithstanding the forgoing, the NCC may specify special roofing requirements for those residences which are located on Lake Palmetto Drive and face Harper’s Trace, which have special address markers and plaques and front yard metal picket fences.

For the homes on the 80’ wide lots fronting Lake Palmetto Drive, A limited number of tile roofs are necessary along Lake Palmetto at the corners of the streets. See below for an example of the homes in addition to the 80’ model home are required to have the tile roof color Boral/Saxony Country Slate – Shadow Grey. Going forward any home along that same portion of the street must have tile roofs on the corner lots. Additional homes may be approved by the ARC but written approval must be granted.



Any additional brands and/or colors or substitutes will need to be approved in writing by the NCC. The Builder is required to skip two homes between homes with the same roof color unless a written variance has been submitted to the ARC identifying the request for a variance from this standard and such variance is granted in writing by the NCC.

Foregoing, the NCC shall have the authority to approve roof pitches and roof colors that differ from that contained in the preceding sentences for structures it deems to be ancillary to the main dwelling, including but not limited to, eaves, overhangs for patios, and similar structures.

All exposed metal roof accessories (such as flashing, plumbing vents, roof flashing, attic ventilators, metal chimney caps, skylight curbs, gutters, solar collector frames, etc.) shall match the color of the roofing material or appropriate material. The preferred location of all stack vents and attic ventilators is on the rear slopes of roofs which is defined as the portion of the roof not visible from a street.

## G. Garages

### 1. Garage Materials

- Garage Materials for 80’ lots shall be stained cedar, fir or other durable wood with uniform grain (without visible knots) and stained to be consistent with the colors of the homes. Shutters are encouraged on residences that have wood garage doors. Shutters should be a reinforcing and consistent element to the design of the garage door in color, finish and style, etc.
- Garage materials for other lots should generally reflect the associated house materials.
- Main walls and roofs are to be the same materials.
- Driveways shall be reinforced concrete or colored special paving with NCC permission. In no case may a material other than plain poured in place reinforced concrete be used between the sidewalk and street.

### 2. Garage Type

- Garages may be attached or detached.
  - Each garage, or combination thereof, must be sized to accommodate at least two automobiles.
  - No more than three car width openings are allowed in an elevation; however, additional capacity can be provided "in tandem".
  - For Patio homes, two car garage permitted for front garage elevations and three car garage permitted for swing-in garages.
3. Garage Doors - All garages shall be carriage style doors with sufficient architectural detail and consistent with home architecture.
- A carriage style garage double door is a door that gives the appearance of two single doors. Hinges and handles are encouraged and may be required to create the look. Single garage doors should have similar carriage style accents.

#### Example:

- Garage doors not directly facing the fronting street are preferred.
- Garage doors, that face the street, are preferred to be located a minimum of 5' behind the front face of the primary elevation of the home.
- It is encouraged that no more than two garage doors be in the same plane when facing the street. It is preferred that the third door be placed in a secondary building plane, offset by a minimum of three feet from the primary front wall of the garage, to avoid a continuous uninterrupted wall of three or more garage doors.
- Garage doors should be either the same color as the body of the house, a slightly darker shade of the same color, or a matching trim color. They should be neither too light nor too dark to call attention to themselves, particularly if they are very visible from the street.
- Auto courts are encouraged.
- Garage doors not visible to a road right-of-way may be double garage doors, made of materials other than wood, and do not need to simulate wood.
- Two 8'-9' wide doors are preferred to one 16'-18' wide door.

## H. Porches and Bay Windows

The inclusion of porches is encouraged. Where used, a depth sufficient to allow for furniture and walking space is preferred over shallow depth non-usable visual appendages. Generally a 6' depth is the minimum permitted unless a unique design or use is intended. Columns, roof slope and roof materials can in combination provide a unique appearance and curb appeal. Bay windows may use unique colors or materials approved by HPCA to accent the related house elevation.

Patio Homes: Patios and/or courts within 1 foot or less of the zero lot line of patio home lots must have a wall on the zero sized that is not less than 7' high measured from the foundation.

## I. Windows and Doors

Windows should be proportioned with heights approximately twice the width, excepting accent and special function windows. Burglar bars are not permitted on the exterior of structures and if installed on the interior, should not be visible from the exterior of the structure. Windows and doors should reflect restraint in the number of types, style, and sizes. Windows may not have reflective glass, foil or tinting. Other than for a limited number of small accent windows, all windows are to be double pane, "Low-E", coated type windows.

The entry should be sheltered on the exterior and include a door or pair of doors. When double doors are used, no sidelights are required but where a single door is used, it is preferred at least 1 sidelight be incorporated in the entry. The main entry should contain more detail than other openings but remain consistent in styling.

Storm doors and windows are permitted if they are an integrated manufactured “pair” and may not be added after the initial construction. The details and materials of the storm doors or windows must be similar to the actual door or window.

**Patio Homes:** No windows or other openings shall be permitted in the zero wall of the residence. Glass block and other similar structural translucent material shall not be considered a window or opening for the purpose thereof. Second Story windows facing the zero side (but not located in the zero wall) must have the base of the windows not be below 7' higher than the foundation nor closer than 5' to the Zero Wall of the residence. Skylights shall not be considered windows and/or openings on the zero wall side of the residence for the purposes thereof. Additional specifications may be located in the DCCR's.

## J. Shutters

When used, shutters are to be of equal size to the openings they are intended to protect. The material of the shutters should be consistent with the other exterior materials used on the house.

## K. Foundation

All building foundations shall consist of either concrete slabs or pier and beam, unless a different type of foundation is approved due to special or unusual site conditions.

The NCC is primarily concerned with the front elevation condition and will look at variances on the rear where steep grades occur and where site grading can assure that proper drainage away from the foundation (+/- 5%) in the first ten feet can be accomplished.

Builders and Homeowners are required to provide to a Buyer a final form survey prepared by a Registered Public Surveyor certifying that the foundations of all buildings constructed on lots have been constructed in conformance with the regulatory requirements, Architectural Guidelines and Covenants with regards to building placement and slab(s) elevations.

At no point along the perimeter of the house/garage slab shall the top of the finished floor elevation be less than 12" above natural grade, nor less than 18" above the highest elevation of curb adjacent to the lot. All finished slabs shall also be a minimum of one (1') foot above the FEMA 100 year base flood elevation and all structural improvements must comply with minimum Montgomery County flood plain building requirements. No more than 14" vertical dimension of any concrete foundation is to be exposed to view from the street.

The HPCA, MUD and or other governmental authorities having jurisdiction over the Community may further stipulate minimum slab elevations for both house and garage.

## L. Mailboxes and Address Markers

### 1. Mailboxes:

Community mailboxes will be available to Owners.

### 2. Street Address Plaques

All lot addresses must be displayed on the home near the front door.

All residences must have cast stone address numerals incorporated into the brick/stucco /stone on the front facade of the residence. **See exhibit E-4G & E-4G-2** for the specifications of each marker. Painted addresses on curb is prohibited within the Subdivision unless otherwise approved. There may be special address requirements along certain streets.

### 3. Lake Palmetto Drive Special Street Address Markers & Plaques- 2 required (1 plaque at residence and 1 marker at gate).

All residences in Palmetto Park, Palmetto Place and Lake Bend neighborhoods (refer to **Exhibit A**) must utilize a Pennsylvania Bluestone address plaque on the residence with metallic silver painted numbers set inside of a cast stone block per **Exhibit E-4F**. The numbers on the markers will be painted with **Lithichrome Stone Paint – Silver**. This blue stone address block may be sourced through The Ark-Concrete Specialties, Inc. (713)695-2001 [www.arkconcrete.com](http://www.arkconcrete.com)) and must follow the requirements of **Exhibit E-4F**.

In addition to the requirements above, special address markers will be constructed immediately adjoining entry gate of the driveway of homes fronting Lake Palmetto Drive which face Harper's Trace per **Exhibit E-4a, Exhibit E-4b and E-4c** "Lake Palmetto Drive Driveway Post and Address Marker" by the builder. The cleaning, maintenance, repair, and replacement of each part of these markers are the sole responsibility of the Homeowner on whose lot an address marker has been constructed and the HPCA shall have the right to maintain and replace any damaged marker and back charge the Owner to maintain the markers as prominent decorative elements.

The HOA may specify that the builder and/or homeowner must utilize a specific vendor to supply and/or replace the address markers, logo, cap and metal picket post which is required for uniformity. For additional information on the requirements and vendor contact the NCC and/or the HOA.

**M. Screening**

All homes shall provide a concrete pad for trash and/or recycle can(s) on side of houses with access gates located behind the front yard fence (see **Exhibit E-7**). The following items should also be properly screened from view along the front street: utility meters (must be located a minimum 8' behind front face of house and foundation plant below meter); "non-natural wood" colored playground equipment (variances may be granted for toddler's equipment); pet enclosure; transformers, pedestals, air conditioning condensers and other mechanical equipment; propane tanks used for outdoor kitchens or barbeques; exterior light sources if not concealed by fixture design, swimming pools; and other permitted vehicles (if any).

Custom trash and recycling cans must be ordered through Municipal Utility District and are shown below

**Toter**<sup>®</sup>  
CART RENDERING

CUSTOMER:	MONTGOMERY COUNTY
PRODUCT #:	79296
DESCRIPTION:	96 GALLON
BODY COLOR:	200 BLACK
LID COLOR:	200 BLACK



**N. Irrigation, Fire Protection and Solar Collectors**

1. Irrigation

Installation of an irrigation system (by Builder) to effectively water areas within front and side yards (and rear yards with rear metal fence) on all Lots is mandatory under the Covenants. The Association has the option, but not the obligation, to perform Front Yard maintenance. Regular watering by the Owner is an important component.

2. Smoke Detectors

One or more photoelectric type smoke detectors must be installed in each dwelling, powered by alternating current with a battery backup. The number and location of smoke detectors must be sufficient to provide a clear, audible alarm to occupants of each bedroom or other sleeping area). It is encouraged that whenever possible,

smoke detectors should be installed and wired so that the completed system can enable a homeowner to connect to a remote monitoring service.

### 3. Solar Collectors

The location and design of all solar collectors are subject to approval. Collectors that can be seen from a public right of way, public open space/park or adjoining property must be of a flat profile and conform to the slope of the roof.

## O. Lighting

The areas of the residential exteriors that are permitted to be illuminated are depicted on **Exhibit G-1**, "Lighting Zones- Permitted". The types of lights that are acceptable to be used in these Zones is presented on **Exhibit G-2**, Lighting Fixtures – Permitted". Specific design and manufacturer models for the Lighting Fixture Types depicted in **Exhibit G-2** (or as otherwise approved by NCC) shall be submitted to the NCC for approval.

The philosophy of exterior lighting, where used, is to minimize the impact to neighbors and to every reasonable extent possible, preserve the beauty of the "rural" night skies about which many residents enjoy. Exterior residential lighting should convey a warm, inviting atmosphere. Care is to be taken in placement and selection of fixtures and types of light sources.

Restrained exterior illumination of architectural features such as columns, entries, and landscaping is permitted. The homebuilder and/or Owner shall install and maintain lighting on individual lots in a manner to not cause distraction, nuisance or to be unsightly. Lighting should not conflict with the sight lines of pedestrians or motorists in a manner that endangers their safety and welfare.

Light sources must not spill over into neighboring yards or produce glare to adjoining landowners or the public right-of-ways. No lighting fixture shall be erected higher than the surrounding natural ground as described in **Exhibit G-2**, "Lighting Fixtures – Permitted". Freestanding pole lights, where permitted, shall not be mounted higher than 12' above the finished grade of the undeveloped lot.

Ground landscape lighting or decorative fixtures must be of high quality materials and workmanship and be in scale and style with the residence. All lighting sources must be approved by the NCC. Colored lenses, low pressure sodium, high pressure sodium and neon lighting are not permissible. Metal halide and LED illumination sources are strongly preferred.

The responsibility to prevent and/or correct any distraction, glare, nuisance, safety, spill over, unsightliness and welfare situations caused by installed lights shall remain with the homebuilder and/or Owner.

## Landscaping

### A. Landscaping Character

The landscaping materials for Harper's Preserve are to be dominantly native and/or drought resistant non-invasive species. The concept of the Harper's Preserve Master Plan calls for the use of compatible species in areas immediately adjacent to the community open space areas so that the adjoining residential landscape does not combat the goals of the open space preservation areas instituted as a part of the overall community development plan. The approved Harper's Preserve Plant List is located in **Appendix A** of the Guidelines.

### B. Initial Construction Requirements for Landscape

The following exhibits listed below summarize the minimum quantity, sizes and maximum number of species by plant type for both interior and corner lots for the Initial construction by the Builder for 80', 75', 65', 50'/55' and 55' Patio Lots. Plant material locations shall conform to the criteria defined in the following Exhibits:

<b>Exhibit D-1</b>	Master Street Tree Plan & Yard Tree Type
<b>Exhibit D-2</b>	Street Tree Plan with Ornamental Tree (Lake Palmetto Drive Lots)
<b>Exhibit D-3A</b>	Street Tree Plan 60'/65' & 50'/55' Lots
<b>Exhibit D-3B</b>	Street Tree Plan 70'/75' Lots

<b>Exhibit D-3C</b>	Street Tree Plan 80'/85' Lots
<b>Exhibit D-4</b>	Street Tree - Pictures of Trees
<b>Exhibit D-7A</b>	Builder Minimum Landscape Planting – 50'/55', 65' & 70' Corner Lots
<b>Exhibit D-7B</b>	Builder Minimum Landscape Planting – 70,75' & 80'/85' Corner Lots
<b>Exhibit D-8A</b>	Builder Minimum Landscape Planting – 50'/55', 60'/65' & 70'/75' Interior Lots
<b>Exhibit D-8B</b>	Builder Minimum Landscape Planting – 70,75' & 80'/85' Interior Lots
<b>Exhibit D-9A</b>	Builder Minimum Landscape Planting – Cul-de-Sac Lake Lots
<b>Exhibit D-9b</b>	Builder Minimum Landscape Planting – Cul-de-Sac Harpers Trace Lots
<b>Exhibit D-10</b>	Builder Minimum Landscape Planting – Patio Corner & Interior Lots
<b>Exhibit E-9</b>	Horsepen Bayou Rear Yard Requirements

**Other Exhibits to note: C-4a & C3a**

- Bricks and architectural block shall not be permitted for use as a border for landscape beds.
- Note that the determination of where front yard ornamental or canopy trees are to be located is documented on **Exhibits D-2, D-3A, D-3B and D-3C** and shall only be required where the front yard contains no preserved forested area.
- The list of preferred plant species, i.e. shrubs and plants, ground cover and vines, trees, perennials, lawns, etc. are listed in Harper's Preserve Approved Plant Material List, **Appendix A**. The grass requirement to be used in the front, side and back yard is Common Bermuda unless otherwise approved by the ACC.

**C. Street Tree & Front Yard Tree Requirements**

- The Builders are required to plant street trees on each residential lot as described on **Exhibits D-1 through D-10 and E-9**. The street and yard tree concept is intended to express the street hierarchy and lot sizes while creating an overall unified Village theme. Consideration will be given on a case by case basis for modification or exemption from the front yard tree planting requirements in the event that site conditions, resulting from existing vegetation or site plan variance due to existing conditions, make impractical the adherence to the yard tree planting requirements described therein.
- Street and Yard trees have a required Gallon and Caliper size. Both are the minimum standards. For example, if the gallon size meets the requirement but the caliper does not, you must increase the gallon until the caliper requirement is met.
- The ornamental yard tree should be placed in between the planting bed and the row in addition to required canopy tree.
- The required trees planted shall match the number, species and sizes as described in these exhibits and should be evenly distributed along the street. Grouping is not permitted.

**D. Preservation Criteria**

- It is a requirement that all builders wherever possible preserve significant stands of existing trees (specimen trees greater than 6" caliper). When measuring the caliper of the tree, an accurate measurement will be taken 12" above the ground.
- Any clearing five feet beyond the building pad or five feet beyond the driveway requires the written approval of the HPCA. Temporary fencing is to be furnished and installed by the builder immediately after clearing but prior to beginning form work for the slab, in order to protect easily damaged vegetation. Notwithstanding the restriction on understory clearing, the owner may remove "rhus radicans" (poison ivy) vines at their discretion.
- Substantial strands of natural vegetation exist on many of the lots in Harper's Preserve. This vegetation (understory, mid-growth and canopy) is to be protected during construction and is to be integrated into the final landscape treatment to the maximum extent practical. Preservation areas within a lot must be protected

using 7' metal "T"-Posts and orange snow fencing as close to the drip line of the trees being protected as possible. These areas must be fenced immediately following the clearing. Construction vehicles, materials and debris must be kept out of all preservation areas.

## E. Reforestation Criteria

- Builders are required to reforest all corner lots and the front lots along Lake Palmetto Drive in accordance with **Exhibit C-4**, "Corner Lot Side Yard Reforestation & Fencing" and **Exhibit D-1**.
- The Reforestation Zone is a native forest area containing preserved existing trees, shrubs, understory plants and seedlings or it may be a forest "rebuilt" with at least a minimum density of native plants. Typical reforestation zones will include both.
- The natural vegetation must be supplemented with appropriate landscaping so as to present a completed appearance which should include sodding, seeding, pine bark or planting to cover bare or erosion prone areas.
- In keeping with Harper's Preserve's concept of preservation of the natural forest environment, native plant material should be utilized for all landscape efforts. A list of trees and shrubs is provided in **Appendix A**.
- The installation of a landscape irrigation system for all newly landscaped reforested areas is encouraged.
- If ornamental plants are used in the front yard of a re-forested lot, the plant material must be confined to areas outside of the Reforestation Zone and in conformance with the Harper's Preserve approved plant list. Ornamentals include all of the commonly used exotics such as Crape myrtle, Indian Hawthorne, Cleyera, Azalea, Asian Jasmine, Dwarf Yaupon, other "compact" Hollies, Pittosporum, Camelia, Ornamental Pears, Junipers, Gardenia, Liriope and seasonal bedding plants

## F. Above Minimum Standard Landscaping

- Lake Palmetto Drive Special Streetscape - Along Lake Palmetto Drive, a unique streetscape character is designed to function as an important part of the overall community image/character. This will be accomplished through deep building setbacks, address monument markers, a continuous ornamental grass hedge plus a wide pedestrian trail on the west side of the street. These additional landscape features along Lake Palmetto Drive are depicted on **Exhibits E-2, E-3, E-3A, E-4A, E-4B, E-4C, E-4D, E-4E, E-4F, E-5, and E-6**.
- Each plant and plant count must meet the gallon size requirement in the guidelines. Annuals do not count as 1 gallon plants. Additional plants are encouraged but crowding the landscaping is discouraged.
- In the event that the Builder or a Homeowner desires to landscape a lot in excess of minimum standards, such landscaping shall conform to all of the landscaping standards referred to herein and be subject to ACC Approval. Of particular concern is the limitation on the number and types of species, extent of the beds into the front lawn area and the mix of plant types within the various zones.
- Typical home site has been divided into distinct landscape zones, as described in **Exhibits D-7A, D-7B, D-8A and D-8B**, Builder Minimum Landscape Planting for Interior and Corner Lots". These zone dimensions are not intended to be rigidly rectilinear as diagrammed but rather the planting areas should average the intended area through geometric balance.
- Other than along street edges of corner lots, the rear yards are not restricted with respect to plant material, type and quantities other than every rear yard shall be "covered" in a maintainable and aesthetically acceptable manner to the NCC and that said planting shall conform to **Appendix A**, "Harper's Preserve Approved Plant Material List".
- We prefer for no edging because it is subject to damage. Natural stone and or brick edging is not permitted. If bed containment is needed, steel edging to be installed per specs in Guidelines. **HOA will not be responsible for damage done to the edging due to mowing activities"**.

## Lifestyle Accessories

### A. General

All Accessories shall be installed in accordance with the side and rear yard setbacks as listed in The Setback Criteria table in Section III.B. No encroachment into any utility easement unless the utility companies involved have granted their written consent to such encroachment. The various utility companies may charge the applicant for this consent letter. Consents must be received prior to approval. All Accessories are subject to ACC approval.

## **B. Swimming Pools**

Swimming pools must be in ground and in conformance with all City, County, MUD, and Health Code regulations. Pools must meet all State, County, and City codes when applicable. Unique site conditions causing Homeowner hardship may be reason for the NCC or RMC Committees to grant a variance with regards to deck encroachment into setbacks. All pools must be enclosed within a fenced area and drained properly. All existing and previously approved landscaping criteria must be adhered to despite the addition of the pool. All associated equipment including pool pumps, filters, diving board, waterfall/feature and other similar elements shall be screened from parks and open spaces, public right of ways and adjoining properties' view. Pool enclosures will be reviewed on an individual basis and height should not exceed eight feet (8'). Pool equipment (including but not limited to Pumps, Slides, cleaning equipment, etc.) must not be visible from the fronting street and may be screened with a hedgerow or located behind the side fence.

## **C. Storage Buildings**

Storage buildings will be permitted in rear yards but not be visible (below 6') to adjoining lots, parks and open spaces or streets right of way. Storage buildings should match the architectural elements, materials and color of the home (including roofing).

Storage buildings should have a peaked roof, no higher than eight feet (8') from the ground to the highest point, and a maximum of 10' x 15' floor space. Location must also be far enough away from fence to allow for drainage to occur entirely on the owner's lot.

## **D. Gazebo**

Gazebos shall be reviewed on a case-by-case basis with a maximum height at peak of eleven feet (11').

## **E. Sports Nets, Poles and Equipment**

All such equipment shall be stored within the fenced side and/or back yard of the home when not in use and shall not be left in the front driveway and/or front yard overnight.

## **F. Basketball Goals**

Basketball goal backboard, net and post must be maintained in excellent condition at all times. Movable basketball goals shall be permitted for use adjacent to or behind the front building line and in the rear yard. If the backboard is mounted onto the roof by use of a small, triangular mounting structure, the mounting structure must be painted to match the shingle color. Rims must be ten feet (10') in height. Backboard is recommended to be regulation size and color. Color may vary but must be non-brilliant in nature and may not be of color or location that detracts from the use, enjoyment or aesthetics of the neighboring property. Basketball goals may be permanently mounted on rear located detached garages or placed on the side of driveway, recognizing a setback of a minimum of 10' behind the front building line.

## **G. Exterior Fireplaces and Chimneys**

Exterior fireplaces and chimneys shall be constructed of masonry, or masonry like materials including Hardi Plank. Chimneys shall extend a minimum of 4' above the roof line or be 2' higher than required by the IRBC. All chimneys constructed for fireplaces, stoves, etc. that burn wood, alternate wood products, coal, charcoal burning and or combustible materials other than natural gas or propane, should have spark arrestors.

## **H. Decks**

Decks should not be situated on the lot so that they may pose a problem to the effective drainage of the lot or neighboring lot. Decks cannot be higher than 18" above grade. Paint or stain should match or compliment the house.

## **I. Patio Cover**

Patio Covers should be constructed of materials which complement the main structure. Prefabricated covers made of

aluminum may be approved providing they are of an earth tone color -- unfinished aluminum will not receive RMC approval. All metal must be painted and certain structures using fiberglass roofing and wood frame may be allowed to go unpainted provided treated wood is used.

Patio cover, if attached to house, must be integrated into existing roof line (flush with eaves), and if it is to be shingled, shingles must match roof. Entire patio cover and posts should be trimmed out to match house. Supports must be painted wood, treated wood or metal columns. No pipe is allowed. At no time, however, shall a shingled roof be allowed with an unpainted frame. Frame will have to be painted to match trim of house whether treated or untreated wood is used.

Patio construction materials are as follows:

- Painted aluminum (to match trim of house)
- Painted wood (to match trim of house)
- Natural pressure treated wood such as cedar, fir, redwood may be used. Treated pine must be painted or stained.
- General Note: All patio cover material, i.e., fiberglass, corrugated aluminum, metal, wood, lattice, must be completely framed in so that no raw edges of material are visible.
- If canvas is used as roofing material on a patio cover, it must be an earth tone color and the structure must be located where it is not visible from the street. No striped or printed pattern is permitted. Also, the canvas must be kept in quality condition or its removal will be requested by the HPCA. No greens allowed for residential use. Commercial use allows the use of green.

Patio covers must be situated on the lot to provide drainage solely into the owner's lot and should be guttered with downspouts, if it is to be a solid cover. Patio covers shall be allowed in rear yards only.

## **J. Playhouses and Forts**

Playhouse/fort must be no higher than Ten feet (10') maximum. Allowance may be made to this requirement only if this is specifically spelled out in writing by the ACC on the application; otherwise ten (10') feet maximum shall apply. If fort has a platform, and positioned in back yard and so as to be low enough to protect neighbor's privacy. It shall also be placed so as not to be visible from the fronting street. If it is determined in the sole discretion of the RMC that the installation, location or appearance of the structure constitutes a violation of the deed restrictions or an invasion of adjacent property owners right use or enjoyment of their property then the RMC can require the initial applicant to make changes to the structure, it's position or require that it be removed. The exterior colors of the main residence, galvanized, natural wood, or earth tones shall be permitted. Brilliant colors shall be restricted especially for any part of the structure which may be visible from above the fence. If there is a canvas awning, such awning shall be solid in color and shall be an earth tone color.

## **K. Room Additions**

Exterior materials and colors should match the house as much as possible. Size and shape will depend on architectural style and layout of home, size of lot, and how well room addition integrates with existing home. Addition of a storage area will not qualify as a bonafide room addition and will not be permitted. Plans for room addition must show a room of reasonable size to constitute a legitimate request for a room addition. Roof of addition must integrate with existing roof line so as to appear to have been part of the original home. The addition must be opened to the main structure and be serviced by central heat/AC and electrical. All such improvements must be designed to building code standards. Room additions may be denied for other reasons (structural integrity, architectural suitability, etc.). Building permits as required by the applicable municipality (city, county, etc.) must be submitted with the "Request for Home Improvement Approval" form. In some instances, the RMC will grant approval with the provision that a copy of the permit must be received by the ACC within thirty (30) days of the approval letter.

## **L. Satellite Dishes and Antennas**

Satellite dishes and antennas must comply with Federal Communications Commission guidelines and regulations. All radio frequency receiving devices of any configuration and type must be erected behind the home and not protrude above the roof line(s) of the primary structure/house. Every reasonable effort possible must be made to limit the views to these devices from adjacent properties. Corner lots shall not install such devices closer to the corner street than the mid-point of the primary structure/house.

## **M. Bird Houses and Feeders**

Harper's Preserve possesses a diverse natural habitat visited annually by migrating song birds. The installation of bird houses particularly those designed to attract Purple Martins is encouraged. Additionally, song bird feeders are also encouraged. Each homeowner erecting either feeders or birdhouses shall be responsible for the maintenance of the devices including repairs, painting and "righting" of support posts.

## **N. Yard Ornaments**

The front yard of a home is typically a source of pride and an area where Homeowners desire a "higher finish" than in other parts of the lot. The front yard is also a part of the "public domain" in that it is visible to the public right of way (street) and forms a part of the overall community image and character. For this reason, high degrees of personalization with regard to "fixtures" such as statuary, bird baths, arbors and other forms of garden ornament are prohibited in the front yard. Yard ornaments located within rear yard (where wrought iron fencing is used) shall require approval from the HPCA. Benches on porches and behind hedges are permitted.

The use of exotic tropical materials, either fruit bearing or not, such as banana trees, Sago Palms, Queen Palms, Washingtonia Robusta palms, Bamboo and other materials not capable of withstanding the occasional prolonged hard freeze conditions experienced in the region are not permitted in the front yard (or rear yard where wrought iron fencing is used).

# IV. CONSTRUCTION GUIDELINES

## **Construction Standards and Site Maintenance**

The following Construction Standards ("Standards") shall apply to any and all work performed within Harper's Preserve Community. All Owners shall be bound by any City building codes and all other applicable governing authority.

### **A. General**

Each lot in Harper's Preserve Community shall be maintained in a neat, clean, and orderly condition by the Owner during construction. During construction, the Owner shall observe the following rules and requirements:

1. No temporary structures, including construction trailers or other temporary office or sales facilities shall be placed or maintained on the property until the appearance and location of such facilities have received approval of the NCC or RMC.
2. Model homes shall only be used for sales purposes. Construction offices shall not be located in the Model Homes unless otherwise approved by the ARC, NCC or RMC.
3. Property shall be kept free of weeds and debris, and all scrap materials shall be removed as soon as reasonably possible in order to maintain a clean construction site.
4. Construction debris, including excess concrete, may not be burned, dumped, or disposed of in any area of the development unless a specific location for such a purpose is approved by the NCC or RMC.
5. Each lot must be clean by end of day each Friday so that the Harper's Preserve Community is in marketing condition for weekend sales traffic and activity. In addition, streets in front of a construction site are to be free from dirt, debris, and spilled concrete. Streets must be cleaned weekly or as needed.
6. Fines may be assessed by the ACC for non-compliance.
7. Sales Consultants, Construction and/or Builder Representatives may not park on the side of the street the models are on and/or in any designated parking spaces that are intended for prospective home buyers.

### **B. Construction Plans**

House plan approval by the NCC or RMC is required prior to the commencement of any construction as described in the Guidelines. Procurement of applicable permits from other governmental agencies is the responsibility of the Owner and shall be obtained prior to commencement of construction. Construction shall be completed expeditiously and in accordance with approved plans.

## C. Compliance with Construction Plans

Owners are responsible for complying with the approved construction plans and Guidelines. Non-compliance will result in written notification from the HPCA, ACC, NCC, or RMC of any observed violations. If the non-compliance item(s) are not properly corrected, then the HPCA shall initiate appropriate action to enforce compliance.

## D. Street Maintenance and Sediment Control

Each Owner shall comply with the appropriate regulatory agency's Storm Water Pollution Prevention Plan requirements and implement the appropriate Best Management Practices necessary to minimize storm water pollution from entering the existing storm water facilities, including, but not limited to, storm sewers, channels, detention ponds, lakes, and the Preserve Area

Each Owner shall maintain the street and street right of way in front of its residents in a neat and orderly way and not utilize the street and associated right of way. In the event that any Owner and/or contractor working on behalf of owner damages the street, right of ways and/or special street pavers, the Owner shall be responsible for the repair and replacement of any damaged areas. Each Owner is also responsible for keeping the areas of the street and sidewalk in front of their residence reasonably swept and free of mud, dirt and debris. Special Consideration may be granted in certain circumstances during periods of construction.

The following information for special street pavers has been made available in case of damage and/or repair.

### **Harper's Preserve East Village Special Street Pavers (Street Pavers are thicker than Special Driveway Pavers)**

Manufacturer: Pavestone

Pattern: Plaza Stone Rectangle & Square Muster K

Border: Sailor Course

Size: 80mm ( $\pm 3\text{-}1/4$ " ht.)

Color: Forest Blend

## E. Preservation Areas Jurisdictional Wetlands/ Drainage Improvements

Each Owner shall comply with the requirements stipulated under Permit SWG-2007-737, which the Declarant obtained from the United States Army Corps of Engineers, Galveston District (the "Corps Permit") in connection with the development of Harper's Preserve. The Preserve Area is restricted as described in the Declaration of Conservation Restriction (filed under Montgomery County 2011003549).

Each Owner shall ensure that any and all individuals, entities and/or equipment directly or indirectly employed by the Owner's contractor, subcontractor or supplier to perform any work do not enter upon or impact the Preserve Area.

Each Owner shall be responsible for any violations that may be issued by the regulatory agencies with jurisdiction, including but not limited to the United States Army Corps of Engineers, EPA, or Montgomery County MUD 95 in the event an Owner's contractor, subcontractor, supplier or any individual or entity directly or indirectly employed by any of them impacts the Preserve Area or violates the conservation restrictions.

In the event an Owner or its contractor, subcontractor, supplier or any individual or entity directly or indirectly employed by any of them is required to perform construction within one hundred (100) feet of the Preserve Area, Owner shall notify the Declarant, Montgomery County MUD No. 95 and HPCA at least seventy-two (72) hours prior to commencement of such construction activity.

## V. SIGNAGE GUIDELINES

All signage for model home parks, builder advertisement, and homeowner advertisement related to Harpers Preserve must be submitted to the ACC for approval.

Builders may install one (1) sign per lot owned by the Builder advertising the home for sale (or that the home has been sold).

Existing homes for sale shall have signs no more than four (4) feet high, which has dimensions of no more than 2'x3'. Signs advertising "for lease" are strictly prohibited.

No signs shall be erected on the roof of any structure.

Unless otherwise approved by the NCC, the Builder's signage is required to meet the criteria on Exhibit H-1, H-2, H-3, and H-4. Use of the builder's logo and logo color is at the discretion of the NCC. Each sign type that is utilized by the Builders in the community, must be submitted and approved before installation.

VII. EAST VILLAGE- ADDENDUMS

East Village- Addendum No. 1

Section 4

Plat as recorded under:  
MCCF No. 2014-125691

75' and 80' wide lots

Updated March 11, 2015

In accordance with the section "C" of the *Architectural Standards* in the *Residential Planning and Design* section of the Harper's Preserve Architectural Review Guidelines, the NCC has the right to grant variances and/or modify the requirements by separate addendum by lot, section, product or other method of grouping at any time and without advance notice. This an addendum to grant a variance on the size of homes built on the 75' wide and 80' wide lots in Section 4 of Harper's Preserve.

There are exactly 48 - 75' wide lots (excluding the 12 hold lots being held by the Declarant and the 6 model lots) in Section 4 are described as follows:

- Lots 11-31/Block 3/Section 4
- Lots 9-17/Block 4/Section 4
- Lots 1-10/Block 5/Section 4
- Lots 1-8 /Block 6/Section 4

There are exactly 24 - 80' wide lots (excluding the 5 hold lots being held by the Declarant) are described as follows:

- Lots 1-8/Block 1/Section 4
- Lots 6-21/Block 2/Section 4

**A. Square Footage and Minimum House Width.**

	Lot Widths	
	80'/85'	70'/75'
Minimum House Size 1 Story	3,500 SF*	3,200 SF
Minimum House Size 2 Story*	3,700 SF	3,400 SF
Maximum House Size	N/A	4,550 SF **
Minimum House Width	65 FT	59 FT

# HARPER'S PRESERVE - EAST VILLAGE ARCHITECTURAL GUIDELINES

**\*80 Foot wide lot variance- Single Story Only:** 5 total single story homes shall be permitted to be less than 3,500 sq. ft. but not less than 3,350 square feet.

**\*\*75 foot wide lots variance- Two Story Only:** 10 total two story homes (5 per Builder assuming a two builder program) shall be permitted to be greater than 4,550 sq. ft. but not exceed 4,700 sq. ft.

## **Lots in Section 4 not considered part of this amendment:**

### **Declarant Hold Lots**

Some of these Declarant Hold Lots may become additional model lots in the future. In addition, square footage variances may be addressed for the following lots at a future date.

There are exactly 5 - 80' wide lots owned by the Declarant in Section 4 are described as follows

- Lots 1-5/Block 5/Section 4

There are exactly 12 - 75' wide lots owned by the Declarant in Section 4 are described as follows

- Lots 1-4/Block 3/Section 4
- Lots 1-8/Block 4/Section 4

### **Model Lots**

The following are model lots in section 4. Additional model lots may be added at a later date.

- Lots 5-10/Block 3/Section 4

**East Village- Addendum No. 2**  
**Plats as recorded under:**  
**Section 5- MCCF No. 2015-010003**  
**Section 6 – MCCF No. 2015-010005**  
**Section 9 – MCCF No. 2016067315**  
**55’ and 65’ wide lots**  
 Updated June 9, 2017

In accordance with the section “C” of the *Architectural Standards* in the *Residential Planning and Design* section of the Harper’s Preserve Architectural Review Guidelines, the NCC has the right to grant variances and/or or modify the requirements by separate addendum by lot, section, product or other method of grouping at any time and without advance notice. This is an addendum to grant a variance on the size of homes built on the 55’ wide (not including the 55’ patio homes) and 65’ wide lots in Section 5, 6 and 9 of Harper’s Preserve. Depending on width of individual lot, the ARC will determine which lot width category it falls into at their sole discretion.

There are exactly 34 - 55’ wide lots (excluding the 46 patio lots) in Section 6 are described as follows:

- Lots 1-17/Block 1/Section 6
- Lots 1-16 /Block 2/Section 6

There are exactly 40 - 65’ wide lots in Section 5 are described as follows:

- Lots 1-12/Block 1/Section 5
- Lots 2-27/Block 2/Section 5

There are exactly 40 - 65’ wide lots in Section 9 are described as follows:

- Lots 1-47/Block 1/Section 9
- Lots 1-7/Block 2/Section 9

There are exactly 40 –55’ wide lots in Section 9 are described as follows:

- Lots 48-99/Block 1/Section 9
- Lots 8-15/Block 2/Section 9

**A. Square Footage and Minimum House Width.**

	Lot Widths	
	55’	65’
Minimum House Size 1 Story	1,800 SF	2,400 SF

# HARPER'S PRESERVE - EAST VILLAGE ARCHITECTURAL GUIDELINES

Minimum House Size 2 Story*	2,000 SF	2,600 SF
Maximum House Size	3,200 SF*	3,750 SF **
Minimum House Width	39 FT	49 FT

## Lots in Section 6

**\*55 Foot wide lot variance- Two Story Only:** 6 total two story homes (3 per builder assuming a two builder program) shall be permitted to be greater than 3,200 sq. ft. but not exceed 3,350 square feet.

## Lots in Section 5

**\*\*65 foot wide lots variance- One and Two Story Only:** 8 total two story homes (4 per builder assuming a two builder program) shall be permitted to be greater than 3,750 sq. ft. but not exceed 3,900 sq. ft.

## Lots in Section 9

**\*55 Foot wide lot variance- Two Story Only:** 12 total two story homes (6 per builder assuming a two builder program) shall be permitted to be greater than 3,200 sq. ft. but not exceed 3,350 square feet.

**\*\*65 foot wide lots variance- One and Two Story Only:** 10 total two story homes (5 per builder assuming a two builder program) shall be permitted to be greater than 3,750 sq. ft. but not exceed 3,900 sq. ft.

## Lots in Section 6 not considered part of this amendment:

The following are 55' Patio lots in section 6 which are not included in this square footage addendum.

- Lots 17-44/Block2/Section 6
- Lots 1-18/Block3/Section 6

**East Village- Addendum No. 3  
Section 7 - MCCF No. TBD  
Dogwood Forest - MCCF No. 2016052549**

**75' and 80' wide lots**  
Updated September 5, 2019

In accordance with the section "C" of the *Architectural Standards* in the *Residential Planning and Design* section of the Harper's Preserve Architectural Review Guidelines, the NCC has the right to grant variances and/or or modify the requirements by separate addendum by lot, section, product or other method of grouping at any time and without advance notice. This an addendum to grant a variance on the size of homes built on the 75' wide and 80' wide lots in Section 4 of Harper's Preserve.

**B. Square Footage and Minimum House Width.**

	<b>Lot Widths</b>	
	<b>80'</b>	<b>70'/75'</b>
Minimum House Size 1 Story	3,200 SF*	3,000 SF
Minimum House Size 2 Story*	3,400 SF	3,200 SF
Maximum House Size	N/A	N/A
Minimum House Width	65 FT	59* FT

There may 55' home plans requested by the Builder which will contain a 5' bumpout on the garage to meet the minimum width requirements. These plans will be submitted for consideration to the Developer during the inspection period for review and response prior to the expiration of the inspection period for use on the 75' lots. Subject to verification of issues, a no charge ARC variance to builder will be granted (subject to the other ARC requirements).

**Harpers Preserve- Addendum No. 4**  
**Post Construction Inspections Instruction and Information**

**Harpers Preserve Community Association Inc. - ARC/ACC**

1500 City West Blvd, Suite 400, Houston TX 77042

Email: [ARC@samyagerinc.com](mailto:ARC@samyagerinc.com) Phone: 713-783-0308

**1. Definitions:**

- A. **"Applicant"** is defined as the Building Company and/or their employee and/or representatives
- B. **"ACC"** – Architectural Control Committee
- C. **"ARC Coordinator"**: ARC coordinating contractor hired by the HOA to perform the ACC's review of plans, ACCs and other duties that the ARC assigns. The current ARC coordinator is (is subject to change):
  - i. Name: Sam Yager Properties Ltd c/o Tiffany Lanza
  - ii. Email: [ARC@SamYagerInc.com](mailto:ARC@SamYagerInc.com)
  - iii. Address: 1500 CityWest Blvd. Suite 400, Houston TX 77042
  - iv. Phone: (713)783-0308
- D. **"Certificate of Compliance"** refer to herein as ("COC") – the home is compliant with no conditions and meets the standards of the Governing Documents
- E. **"Certificate of Compliance with Provisions"** refer to herein as ("COP") – the home is mostly compliant but has a few minor outstanding items (Minor items are as deemed by the ARC/ACC). The Applicant will be given 14 days from the signature date to correct said items. If the Applicant does not correct these items (no matter how minor), then the "Provisions" have not been complied with and the certificate is revoked. Re-inspection will be scheduled as a Certificate of Non-Compliance.
- F. **"Certificate of Non-compliance"** refer to herein as ("CON") – The home is not in compliance for material items (i.e. trees, fences, plants, brick, paint colors, elevation, garage doors, etc.). The Applicant will be given not less than 14 days from the signature date to correct said items. If the Applicant does not correct all of these items, the lot and Applicant is subject to additional fees and fines per the Governing Documents.
- G. **"Governing Documents"** - The Declaration of Covenants, Conditions, Restrictions and Easements for Harpers Preserve Subdivision recorded by the Official Public Records of Harris County, TX (the **"Declaration"**), Design Guidelines, Master Plan Application and Approval Form, New Home Construction Application and Approval Form, and any other applicable documents.
- H. **"Inspector"**, is defined as the inspection contractor hired by the HOA to perform on-site inspections to determine conflicts with requirements of the Governing Documents. The current Inspector is as follows (subject to change):
  - i. Inspector: Paige Pelton- McCauleyACC
  - ii. Email: [paige@McCauleyacc.com](mailto:paige@McCauleyacc.com)
  - iii. Phone: (713)213-2284

- I. **“Owner”** – the owner of the home and lot after the Applicant transfers title.
  - J. **“Post Construction Inspection”** refer to herein as (“Inspection”): The compliance process that is to take place before a home closes.
  - K. **“Resale Certificate”** – This is the documentation the HOA gives the title company and/or mortgage company with the information of the account, balances and other information needed for closing
2. **Requesting an Inspection:** Schedule the Inspection not later than as soon as a home is complete and greater than 5 business days before the proposed Inspection date. Per the Governing Documents, the Inspection must happen before a home closes with ample time to correct any items that are not in compliance so that the COC can be issued prior to closing. To request an Inspection the following steps should be taken:
- A. An email sent to the Inspector with the following information.
    - i. Proposed closing date of the home
    - ii. Date of requested Inspection
    - iii. Name, email and phone number of construction personnel.
    - iv. Whether the construction personnel will be in attendance at the Inspection.
    - v. Any items which are not complete with the dates of their planned completion.
  - B. Once an Inspection is scheduled, the Inspector will confirm the date of Inspection. At that time it is up to the Applicant to confirm attendance.
3. **First 5 Inspections:** Each Applicant is REQUIRED to be in attendance for the first five homes they are personally managing the construction of in a subdivision. It should take the Inspector up to 5 business days to get the original Inspection report to the ACC and Applicant for review.
- A. Attendance Policy - If a home is requested for review and the Applicant does not timely attend within 10 minutes from the agreed upon time, the Inspection will be considered canceled. If an Inspection is canceled the applicant will still be charged the Inspection fee by the Inspector. The applicant is responsible to reschedule a new Inspection and repay the Inspection fee.
  - B. Cancellation Policy - Cancellation of an Inspection no later than 24 hours before the Inspection’s scheduled time.
4. **Standard Inspections:** Following the attendance of the First 5 Inspections (See note 3 above, the Applicant’s construction representative does not have to attend the inspections unless they have more questions regarding the review process and the items which are reviewed even though they are encouraged to do so. If homes are continuing to be in Non-Compliance not corrected within the first re-Inspection, the ACC (and/or it’s Inspector) may require the construction representative to attend further Inspections. After the review, it should take the Inspector up to 5 business days to get the original Inspection report to the ACC and Applicant for review.
5. **Inspection Decisions:** The ACC will issue another copy to the Applicant with the following decisions:
- A. Certificate of Compliance
  - B. Certificate of Compliance with Provisions
  - C. Certificate of Non-compliance
  - D. Certificate of Compliance Model Home
6. **Re-Inspections** happen two weeks from the date of the previous Inspection notice date and in two week increments from there on. If an Applicant needs additional extension of time to correct an item, it is their responsibility to reach out to the Inspector and the ARC Coordinator to request more time with a new date of re-Inspection. The ACC holds the right to require the original Inspection date and not grant the Applicant’s request. A processing fee may be assessed by the ACC on the first re-Inspection at \$100 and doubles at each re-Inspection thereafter.
7. **Holidays:** The ACC may give additional time between Inspections and/or re-inspections at their discretion.
8. **Home Closings:** Each Applicant will request a Resale Certificate from the HOA at the time of closing between Applicant and Owner. The Resale Certificate will indicate whether the home has or has not been inspected. If

it has not been inspected it shall be deemed non-compliant and a violation of the Governing Documents. The Resale certificate shall have language generally as follows:

“Either

A Post Construction Inspection has been requested, performed and/or approved by the ACC.

OR

A Post Construction Inspection has not been requested, performed and/or approved by the ACC nor has a Certificate of Compliance been signed by the ACC in connection with the Property. Therefore, any sale or closing on the Property will be a violation of the Design Guidelines subjecting the owner of the Property to any and all remedies available to the Association under the Restrictions Applying to the Property and the Texas Law. “

9. **Closed Homes:** If a home is closed and not inspected the Applicant will be notified by the HOA of the Non Compliance on said lot. The Applicant will be given 14 days to schedule and have the required inspection.

A. If an Inspection is requested, it is required that the Applicant be in attendance for the Inspection.

- i. Attendance Policy - If a home is requested for review and the Applicant does not timely attend within 10 minutes from the agreed upon time, the Inspection will be considered canceled. If an Inspection is canceled the applicant will still be charged the Inspection fee by the Inspector. The applicant is responsible to reschedule a new Inspection and repay the Inspection fee.
- ii. Cancellation Policy - Cancellation of an Inspection no sooner than 24 hours before the Inspection's scheduled time other than cases of emergencies.

B. If an Inspection is not requested within the 14 days given, a violation Letter will be sent to the Owner.

10. **Variations:** Can be requested from the Governing Documents requirements. All of the following items must be received before the variance can be processed:

- A. Fill out the Variance Application Form per item and address.
- B. Accompany the plot plan and/or pictures of the requested item.
- C. \$500 Variance Fee per Variance item and per address, contact the ARC Coordinator for payment information.
- D. Send to ARC@samyagerinc.com

Requesting a variance does not mean a variance will be granted by the ACC. The ACC will review the application provided and any supporting documents and provided their written decision on or before 30 days after all materials required by the ACC to evaluate the request have been received. Construction of said variance cannot begin until two members of the ACC have executed and approved the variance in writing on this approved form and provide a copy of the approval to the Applicant.

11. **Change of construction personal:** The ACC and Inspector must be notified of any change of construction personal by the Applicant on or before their first day working in the community. The new construction personnel must be provided with a color copy of the applicable Governing Documents by their employer.

12. **Monthly HOA Drive:** The community bay be inspected routinely by the HOA and/or a subcontractor of the HOA. If there are items with respect to an applicant/owner's construction activity that need to be corrected per the Governing Documents the Applicant may also be notified outside of the inspection process. These items need to be corrected in not more than 14 days unless otherwise approved by the ACC. Should the Applicant choose to not comply with the first request, the HOA may correct the deficiency and bill the Applicant for the cost to bring the said item into compliance with the Governing Documents. The ACC may assess fees and/or fines if items are not corrected within the time given.

13. **Non Compliance:**

- A. Inspections: Owner will be given 14 days to cure any issues that do not meet the Governing Document's standards between Inspections and Re-Inspections.

- i. Primary Inspection – Inspection Fee by McCauley
- ii. First re-Inspection – McCauley Inspection Fee & HOA Processing Fee of \$100
- iii. Second re-Inspection - McCauley Inspection Fee & HOA Processing Fee of \$200
- iv. Third re-Inspection - McCauley Inspection Fee & HOA Processing Fee of \$400 & a Violation Letter will be sent to the Homeowner if the home is closed.
- v. After the 3rd Inspection, if the deficiencies still have not been corrected, the HOA's Processing Fee amount shall double at each subsequent post construction Inspection until the items are corrected and the COC is issued.

B. Start of Construction without ACC Application Approval

- i. Applicant will be notified via Violation letter to cure deficiencies.
- ii. The New Home Construction Application Fee is changed to \$500

14. **Subject to Change:** These Inspections Instructions and Information, the ARC Coordinator, and the Inspector may change from time to time without notice. Please check with the ARC Coordinator or the HOA Management Company to make sure you have the most updated information.

15. **Failure to Understand:** If the Applicant does not understand anything pertained in this document and/or any of the Governing Documents it is their responsibility to reach out to the ACC Coordinator before installation to get clarification. Should the Applicant install and/or construct an item incorrectly they will be expected to bring the item into compliance unless otherwise approved by the ARC. Failure to do so may result in fines, fees and any other action the ACC deems suitable.

East Village - Addendum No. 5  
Section 23 Only - MCCF No. 2020082959

**80 & 85' wide lots**

Updated June 10, 2020

In accordance with the Section "C" of the *Architectural Standards* in the *Residential Planning and Design* section of the Harper's Preserve Architectural Review Guidelines, the NCC has the right to grant variances and/or or modify the requirements by separate addendum by lot, section, product or other method of grouping at any time and without advance notice. This addendum is intended to provide a standard for masonry requirements, square footage and width of homes built on the 80' & 85' wide lots in Section 23 of Harper's Preserve.

**A. Square Footage and Minimum House Width & Square Footages with 100% Masonry Required.**

	Lot Widths	
	80'	85'
Minimum House Size 1 Story	3,000 SF^	3,000 SF^
Minimum House Size 2 Story*	3,200 SF	3,200 SF
Maximum House Size	N/A	N/A
Minimum House Width	65* FT	65* FT

\*There may 59'-11" wide home plans requested by the Builder which will contain a 5' bump out on the garage to meet the minimum width requirements. These plans will be submitted for consideration to the Developer during the inspection period. Subject to verification of typical issues, a no charge ARC variance to builder will be granted (subject to the other ARC requirements).

"A variance for up to (2) 2,800 square foot homes will be provided (if requested by Builder) provided that they are not located on the Lot at the beginning corner of the street or the two (2) lots at the very end of the street on the cul-de-sac.

VI. APPENDIX A: HARPER'S PRESERVE APPROVED PLANT MATERIAL LIST

Small Trees (Ornamental Trees)

Species	Common Name	Reforestation
Bumelia celastrina	Tropical Buckthorn	Yes
Cercis canadensis	Redbud	Yes
Chionanthus virginicus	Fringe Tree	
Comus florida	Dogwood	
Diospyros virginiana	Eastern Persimmon	
Hamameys Virginiana	Witch Hazel	
Lagerstroemia indica	Crepe Myrtle	
Malus Spp.	Crabapple	
Pistacia texana	Texas Pistache	Yes
Prunus mexicana	Mexican Plum	
Pyrus calleryana bradfordii	Bradford Pear	
Sophora spp.	Mountain Laurel	

Medium & Large Trees (Canopy Trees)

Species	Common Name	Reforestation
Acer Rubrum "Drummondii"	Swamp Maple	Yes
Betula nigra	River Birch	
Carya illinoensis	Pecan	
Celtis laevigata	Southern Hackberry	Yes
Fraxinus americana	White Ash	
Fraxinus pennsylvanica	Green Ash	Yes
Juglans nigra	Black Walnut	
Liquidamber styraciflua	Sweetgum	Yes
Liriodendron tulipifera	Tulip Tree	
Magnolia grandiflora	Southern Magnolia	
Ostrya virginiana	American Hop Hornbeam	
Pinus taeda	Loblolly Pine	Yes
Platanus mexicana	Mexican Sycamore	
Platanus occidentalis	American Sycamore	
Quercus falcata	Swamp Red Oak	Yes
Quercus glaucooides	Lacey Oak	
Quercus michauxii	Swamp Chestnut Oak	
Quercus macrocarpa	Bur Oak	Yes
Quercus shumardii	Shumard Oak	
Quercus texana	Red Oak	
Quercus texana nuttall	Nuttall Oak	Yes
Quercus virginiana	Live Oak	
Taxodium distichum	Bald Cypress	Yes
Ulmus crassifolia	Cedar Elm	Yes

# HARPER'S PRESERVE - EAST VILLAGE ARCHITECTURAL GUIDELINES

## Shrubs, Dwarf Shrubs & Plants

Species	Common Name	Reforestation
Azalea	Azalea	
Abelia grandiflora prostrata	Dwarf Abelia	
Berberis thunbergii	Pigmy Barberry	
Gardenia radicans	Dwarf Gardenia	
Hesperaloe parviflora	Red Yucca	
Ilex Spp.	Holly-Yaupon	
Lantana horrida T	exas Lantana	
Nandina domestica nana	Dwarf Nandina	
Poliomintha longifolia	Mexican oregano	
Penstemon baccharifolius	Red Penstemon	
Pittosporum tobira	Dwarf Pittosporum	
Rosemarinus officinalis	Rosemary	
Salvia leucantha	Mexican Brush Sage	

## Small Shrubs & Plants

Species	Common Name	Reforestation
Abelia Spp.	Abelia	
Anisacanthus wrightii	Hummingbird Bush	
Aucuba japonica	Aucuba	
Buxus Spp.	Boxwood	
Callicarpa americana	American Beauty Berry	Yes
Chaenomeles japonica	Flowering Quince	
Gardenia Spp.	Gardenia	
Hydrangea macrophylla	Hydrangea	
Opuntia compressa	Lowprickly pear cactus	
Malvaviscus drummondii	Turk's Cap	Yes
Opuntia engelmannii texana	Flaming prickly pear cactus	
Opuntia engelmannii linguiformis	Cow's tongue prickly pear cactus	
Opuntia leptocarpa Mackenson	prickly pear cactus	
Pavonia lasiopetala	Rock Rose	
Pistacia texana	Texas Pistachio	Yes
Raphiolepis indica	Indian Hawthorne	
Spiraea prunifolia	Bridal Wreath Spirea	
Yucca pallida	Paleleaf Yucca	
Yucca torreyi	Spanish Bayonet Yucca	

# HARPER'S PRESERVE - EAST VILLAGE ARCHITECTURAL GUIDELINES

## Medium Shrubs & Plants

Species	Common Name	Reforestation
<i>Azalea indicum</i> Indica	Azalea	
<i>Buddleia</i> Spp.	Butterfly Bush	
<i>Camellia</i> Spp.	Camellia	
<i>Elaeagnus fruitlandi</i>	Silverberry	
<i>Feijoa sellowiana</i>	Pineapple Guava	
<i>Hibiscus coccineus</i>	Texas Star Hibiscus	Yes
<i>Hibiscus syriacus</i>	Althea	
<i>Ilex</i> Spp.	Holly-Yaupon	Yes
<i>Ilex decidua</i>	Possumhaw	Yes
<i>Jasminum</i> Spp.	Jasmine	
<i>Lagerstroemia indica</i> "dwarf"	Dwarf Crepe Myrtle	
<i>Leucophyllum frutescens</i>	Texas Sage	
<i>Ligustrum texanum</i>	Wax Leaf Ligustrum	
<i>Lonicera fragrantissima</i>	Winter Honeysuckle	
<i>Malvaviscus drummondii</i>	Turk's Cap	Yes
<i>Crinum americanum</i>	Crinum Lily	
<i>Liriope</i> Spp.	Lily Turf	
<i>Lupinus texensis</i>	Bluebonnet	
<i>Lantana camara</i>	Lantana	
<i>Ophiopogon japonicum</i>	Monkey grass	
<i>Opuntia compressa</i>	Low prickly pear cactus	
<i>Opuntia engelmannii texana</i>	Flaming prickly pear cactus	
<i>Opuntia engelmannii linguiformis</i> C	ow's tongue prickly pear cactus	
<i>Opuntia leptocarpa</i>	Mackenson prickly pear cactus	
<i>Osmunda cinnamomea</i>	Cinnamon Fern	Yes
<i>Osmunda regalis</i>	Royal Fern	Yes
<i>Saururus cernuus</i>	Lizardtail	
<i>Sedum</i> Spp.	Sedum	
<i>Verbena peruviana</i>	Peruvian Verbena	
<i>Vinca minor</i> and major	Vinca	
<i>Woodwardia aereolata</i>	Chain Fern	Yes

## Grasses Lawn and Ornamental

Species	Common Name	Reforestation
<i>Cynodon dactylon</i>	Common Bermuda	
<i>Buchloe dactyloides</i>	Buffalo Grass	
<i>Bouteloua gracilis</i>	Blue Grama	Yes
<i>Bouteloua curtipendula</i>	Sideoats Grama	
<i>Muhlenbergia capillaris</i>	Gulf Muhly	Yes
<i>Muhlenbergia lindheimeri</i>	Lindheimer Muhly	Yes
<i>Schizachyrium scoparium</i>	Little Bluestem	
<i>Stipa tenuissima</i>	Mexican Feather Grass	Yes

Street Tree Pictures



**Mexican White Oak Tree and leaf pattern**



**Live Oak Tree and leaf pattern**



**Mexican Sycamore Tree and leaf pattern**



**Southern Sugar Maple Tree and leaf pattern**



**Nuttall Oak Tree and Leaf Pattern**

## IX. EXHIBITS

**All exhibits are required to be printed in color for use.**

A	Neighborhood Plan
B-1	Sidewalk & Trail Plan
B-2A	Sidewalk Ramp Detail
B-2B	Wheelchair Ramp Details
B-3A	4' Sidewalk Construction Details
B-3B	5' & 7' Sidewalk Construction Detail
B-3C	Sidewalk Transition Typical Details
C-1	Fence Type Key Map
C-2A	Community Fence – Type 1
C-2B	Community Fence with Masonry Columns
C-2C	Metal Picket Fence Standards – Type 2 & 3
C-2D	Internal Side and Rear Yard Wood Fence Details – Type 5
C-3A	Lake & Open Space Rear and Side Fences & Screening
C-3B	Type 2, 3 & 5 Fences
C-4	Corner Lot Side Yard Reforestation & Fencing
D-1	Master Street Tree Plan
D-2	Street Tree Plan with Ornamental Tree (Lake Palmetto Drive)
D-3A	Street Tree Plan - 65' & 50'/55' Lots
D-3B	Street Tree Plan - 75' Lots
D-3C	Street Tree Plan - 80' Lots
D-4	[omitted]
D-5	[omitted]
D-6	[omitted]
D-7A	Builder Minimum Landscape Planting – 50'/55', 65' & 70' Corner Lots
D-7B	Builder Minimum Landscape Planting – 75' & 80' Corner Lots
D-8A	Builder Minimum Landscape Planting – 50'/55', 65' & 70' Interior Lots
D-8B	Builder Minimum Landscape Planting – 75' & 80' Interior Lots
D-9A	Builder Minimum Landscape Planting – Cul-de-Sac Lake Lots
D-9B	Builder Minimum Landscape Planting – Cul-de-Sac Harper's Trace Lots
D-10	Builder Minimum Landscape Planting – Patio Corner & Interior Lots
E-1	[omitted]
E-2	Lake Palmetto Drive Streetscape Elements
E-3	Lake Palmetto Drive Streetscape Elements – Additional
E-3A	Special Paving Detail
E-4A	Lake Palmetto Drive Driveway Post and Address Marker/Logo Plaque
E-4B	Lake Palmetto Drive Driveway Post and Address Marker/Logo Plaque
E-4C	Lake Palmetto Drive Address Marker Detail
E-4D	Lake Palmetto Drive Driveway Swing Gate Option
E-4E	Lake Palmetto Drive Driveway Slide Gate Option
E-4F	Lake Palmetto Drive House Address Block Detail
E-4G	Standard Cast Stone Address Marker/Logo Plaque
E-5	Front Yard & Street Frontage Irrigation Plan
E-6	Planting Plan Lake Palmetto Drive
E-7	Side yard Trash Can Storage Requirement All Lots
E-8	50'/55' Patio Building Orientations
E-9	Horsepen Bayou Rear Yard Requirements
E-10	Additional Masonry Requirements
G-1	Lighting Zones – Permitted
G-2	Lighting Fixtures – Permitted
H-1	Builder Yard Signs
H-2	Builder Weekend Directional Signs
H-3	Builder "Open" Signs
H-4	Builder Identification Sign

# Exhibit A

## East Village Neighborhood Plan



Mixed-Use Property  
(NIC in Neighborhood)

### Neighborhood Key

- Palmetto Park
- Harper's Trail
- Palmetto Place
- Lake Bend
- Spoonbill
- Bayou Bend

# Exhibit B-1

## East Village Sidewalk & Trail Plan




Entry

SH 242

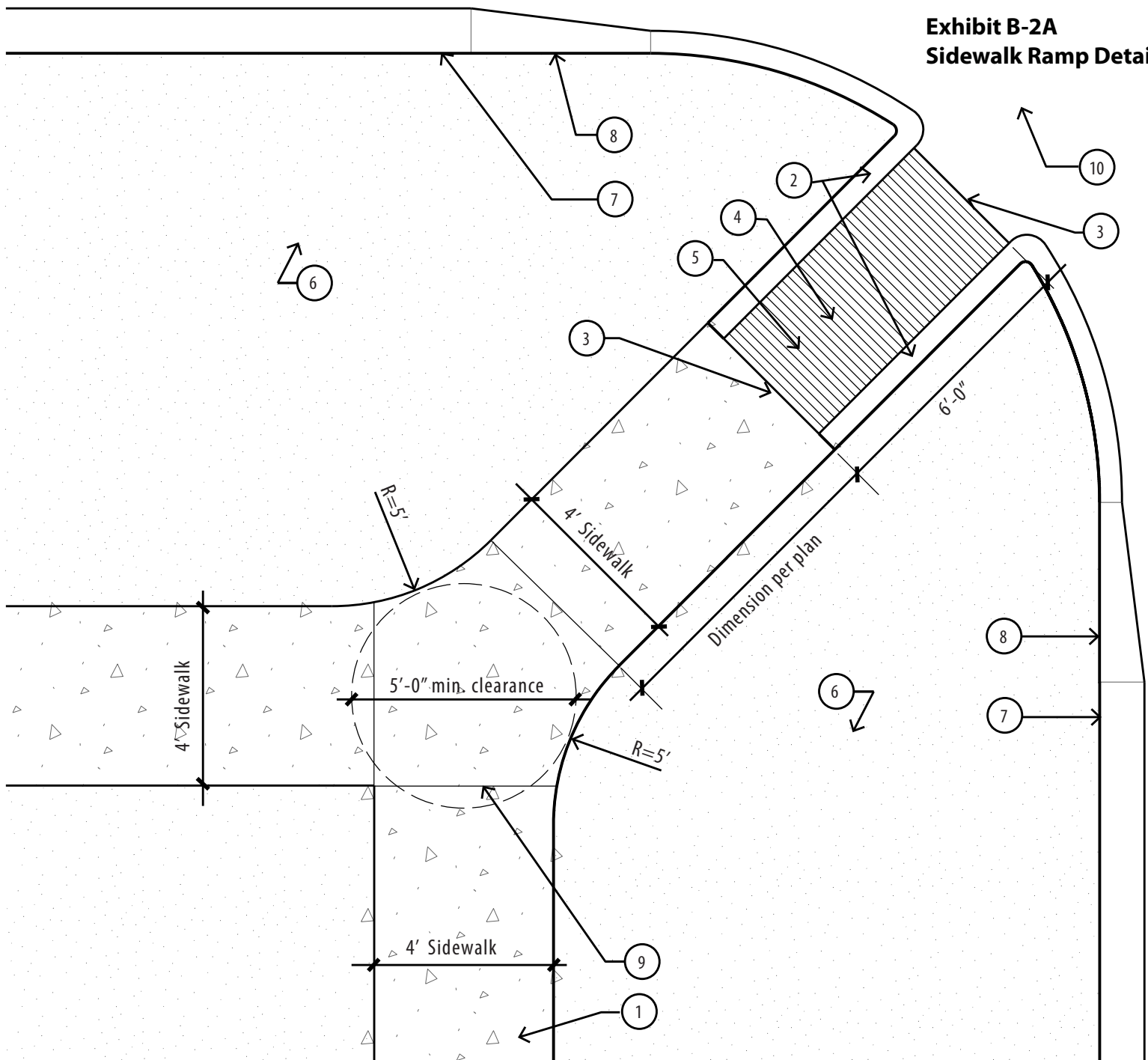


- Notes:
- 1. Bayou Access Gates See Guidelines Detail.
  - 2. Details for all walk & trail types provided in these guidelines.

### Sidewalk & Trail Legend

-  7' Paved trail by HPCA
-  7' Unimproved trail by HPCA
-  Trails by Mixed-Use
-  5' Walk by HPCA
-  4' Walk by HPCA
-  4' Connector Walk by Builders
-  4' Standard Walk by Builders

**Exhibit B-2A  
Sidewalk Ramp Detail**

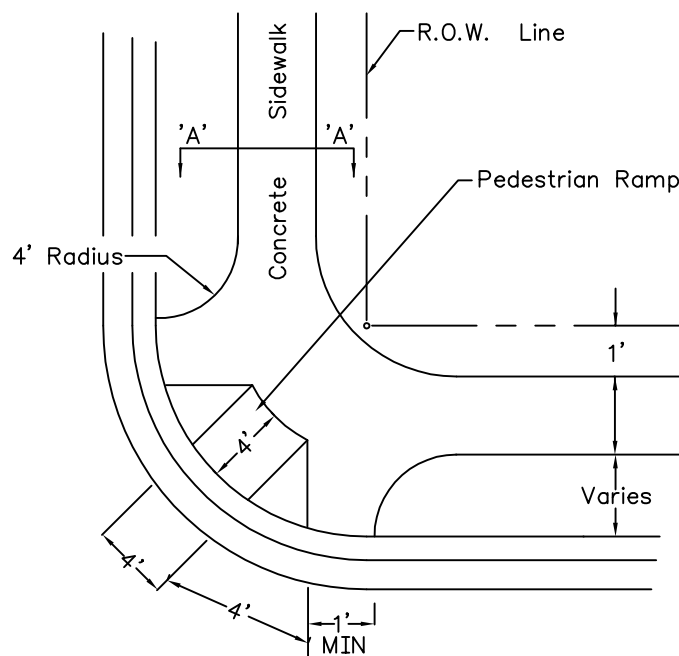


**CURB RAMPS W/ NON WALKING SURFACE ADJACENT**

Not to scale

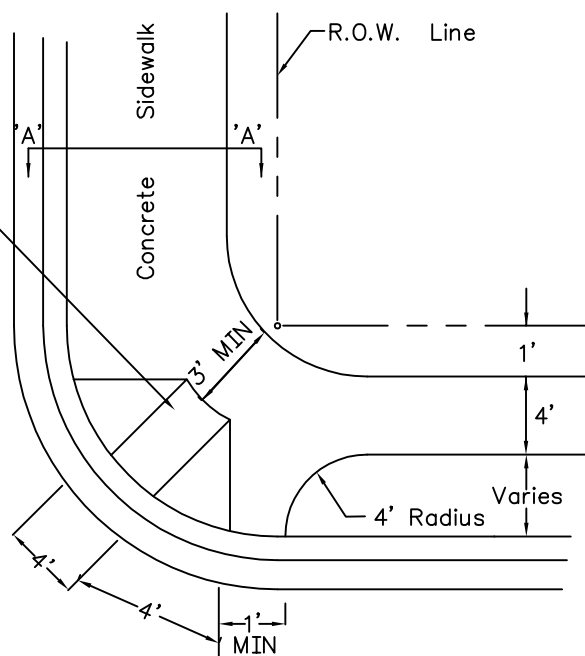
**Detail Callout Legend:**

1. 4' Concrete Walk, see Exhibits B-1 & B-3-B for locations and details
2. 6" Concrete Curb, see Exhibit B-2-C: Curb Details
3. Expansion Joint
4. Integral Color Concrete Ramp Maximum Slope 1" per Foot (Color to be "Scofield A-55 Pecan Tan")
5. Grooved Concrete Texture 1/4" Deep x 3/4" Wide Space at 2" o.c. Along Entire length and as wide as ramp
6. Non Walking Surface
7. 12" Concrete Curb, see Exhibit B-2-C: Curb Details
8. Transition curb, see Exhibit B-2-C: Curb Details
9. Expansion or control joints, per plan
10. Roadway



DETAIL A

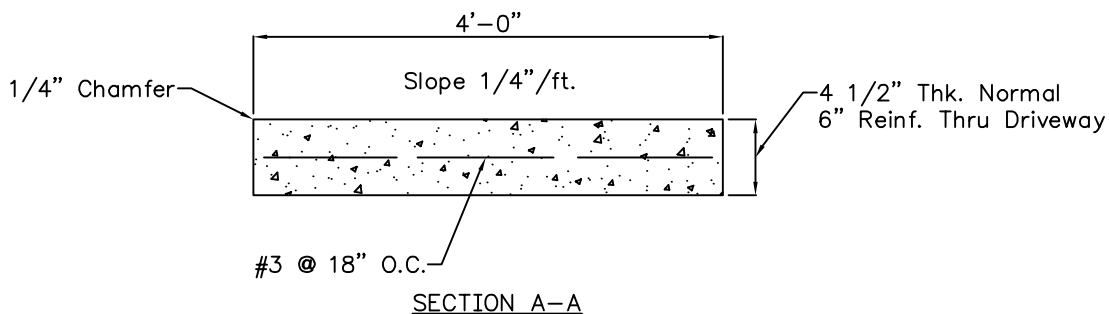
Two intersecting sidewalks  
are split from curb



DETAIL A

One intersecting sidewalk  
is split from curb

- NOTES:
1. For sidewalk details see Standard Drawing.
  2. Back of sidewalk radius to be reduced in order to avoid encroachment on private property in those instances where the property lines are extended.
  3. Maximum slope of ramp shall be 12.5%
  4. Ramps shall not conflict with curb inlets.
  5. Ramps shall be rough broom finished transverse to slope.



SECTION A-A

REVISIONS



CITY OF CONROE

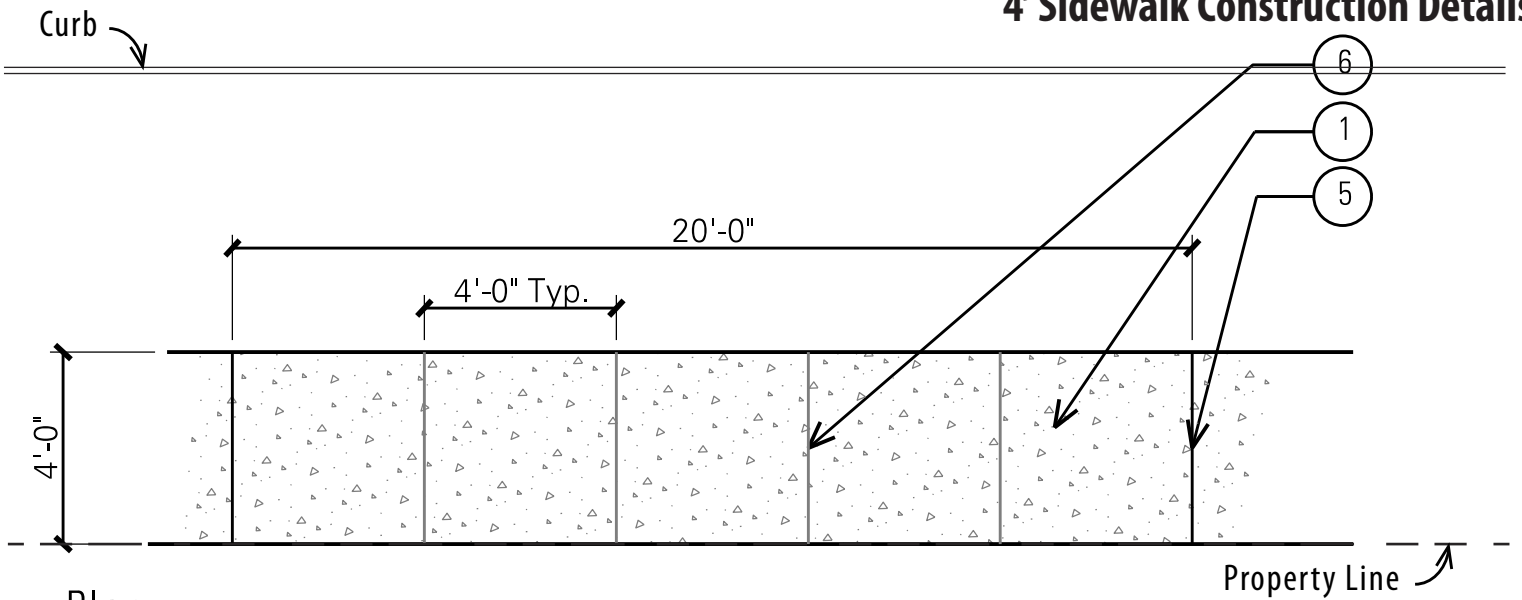
SIDEWALK AND PEDESTRIAN  
RAMP DETAILS

DWG. NO.  
1203

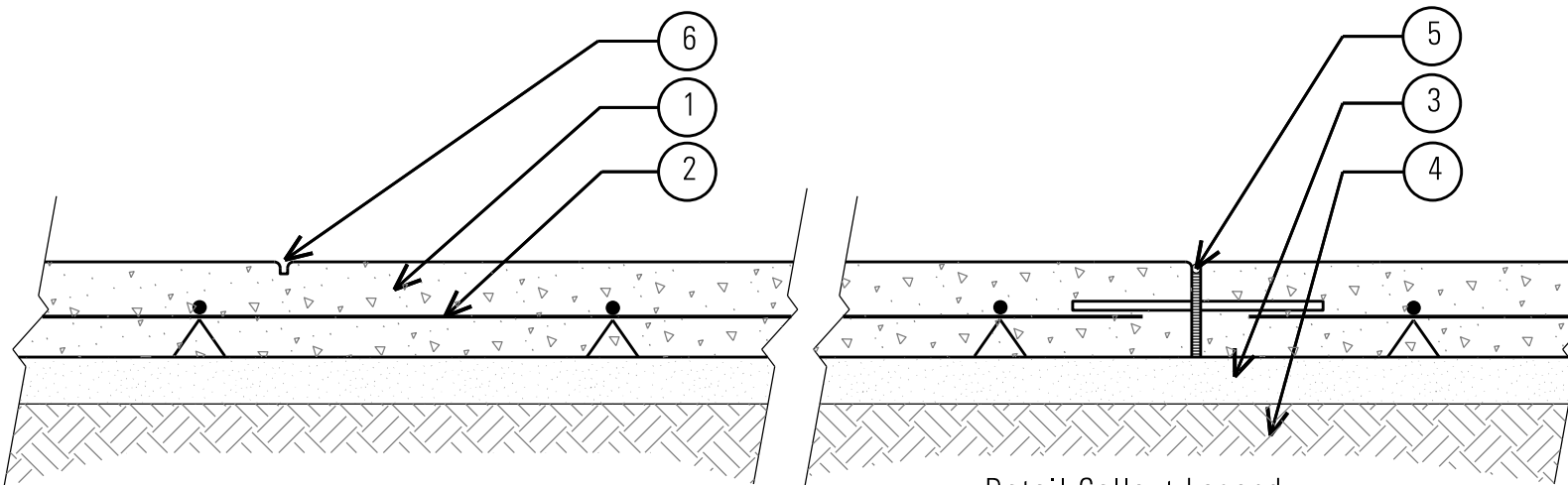
P-21

# Exhibit B-3A

## 4' Sidewalk Construction Details



Plan  
Not to scale



Section  
TYP. 4' WIDE WALK CONCRETE DETAIL  
Not to scale

### Detail Callout Legend:

1. 4" Thick Conc. Slab, 3000 PSI.
2. #3 Rebar, 12" O.C. Each Way W/ Rebar Support Chair Every 18" O.C.
3. 2" Thick Compacted Sand Base.
4. 90% Compacted Subgrade.
5. Expansion joint. every 20lf
6. Score joint.

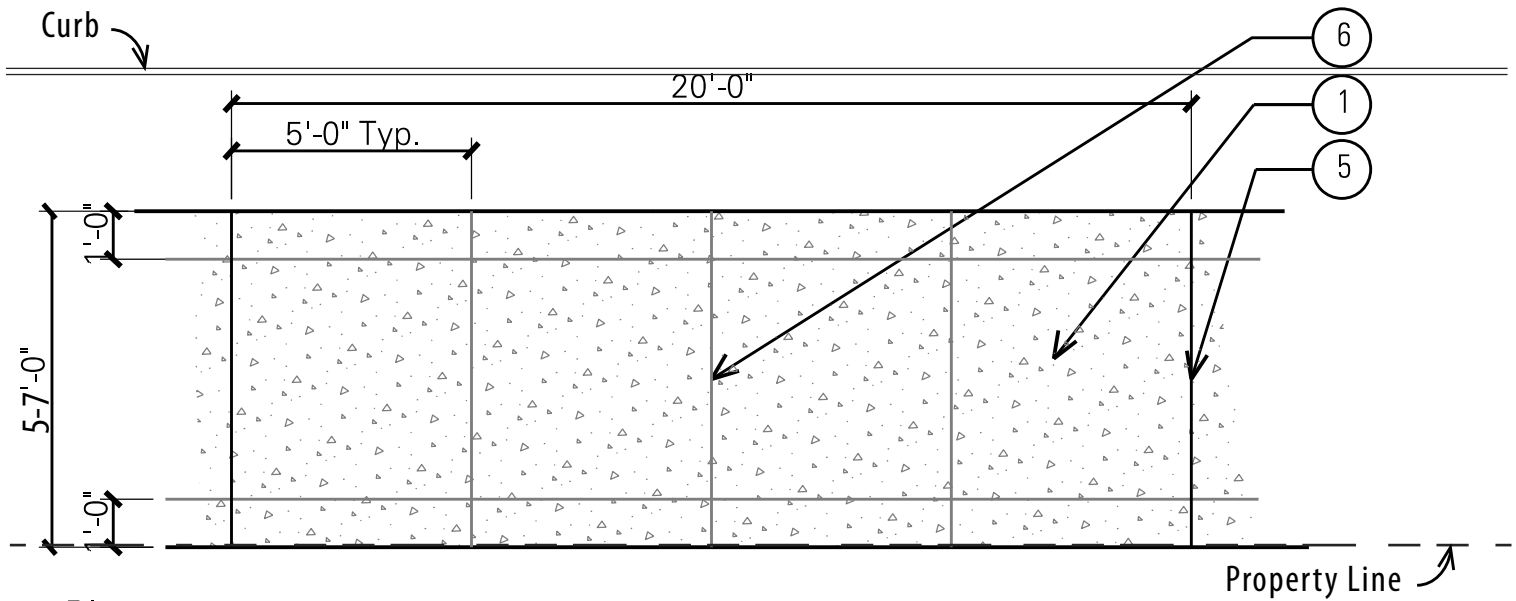
### Note:

All side walks to have picture frame tool finish 3" wide at joints with light broom finish perpendicular to direction of traffic.

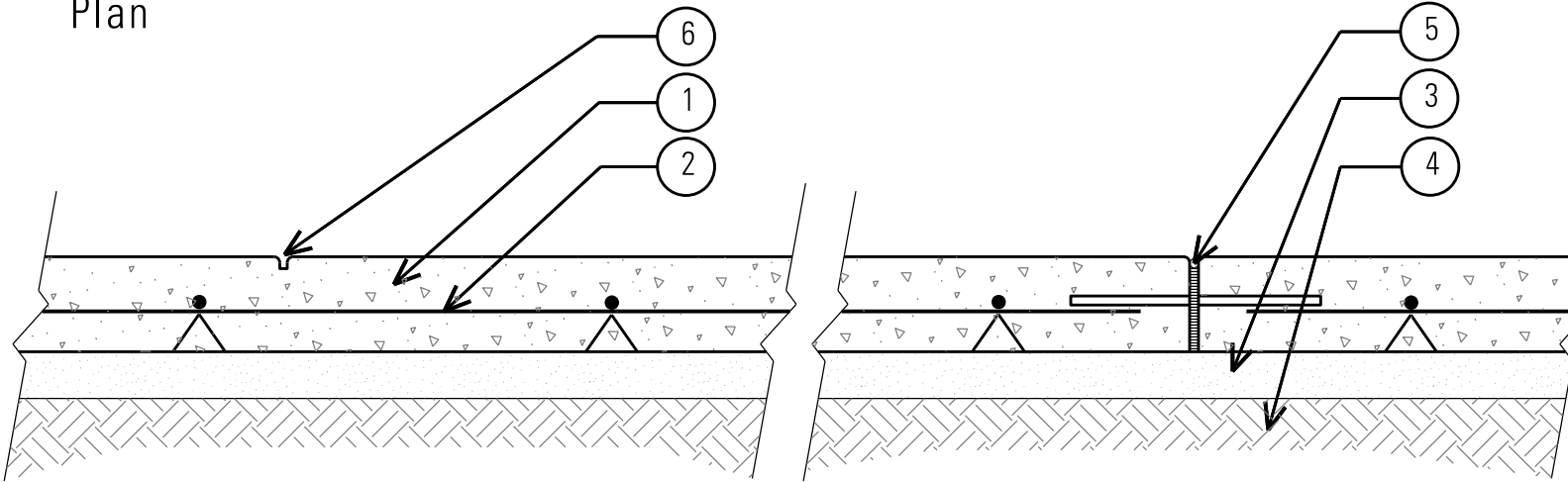
All sidewalks built by Builder shall be located along and adjacent to the property line inside the right-of-way.

# Exhibit B-3B

## 5 & 7' Sidewalk Construction Detail



Plan



Section  
TYP. 5-7' WIDE WALK CONCRETE DETAIL  
Not to scale

### Detail Callout Legend:

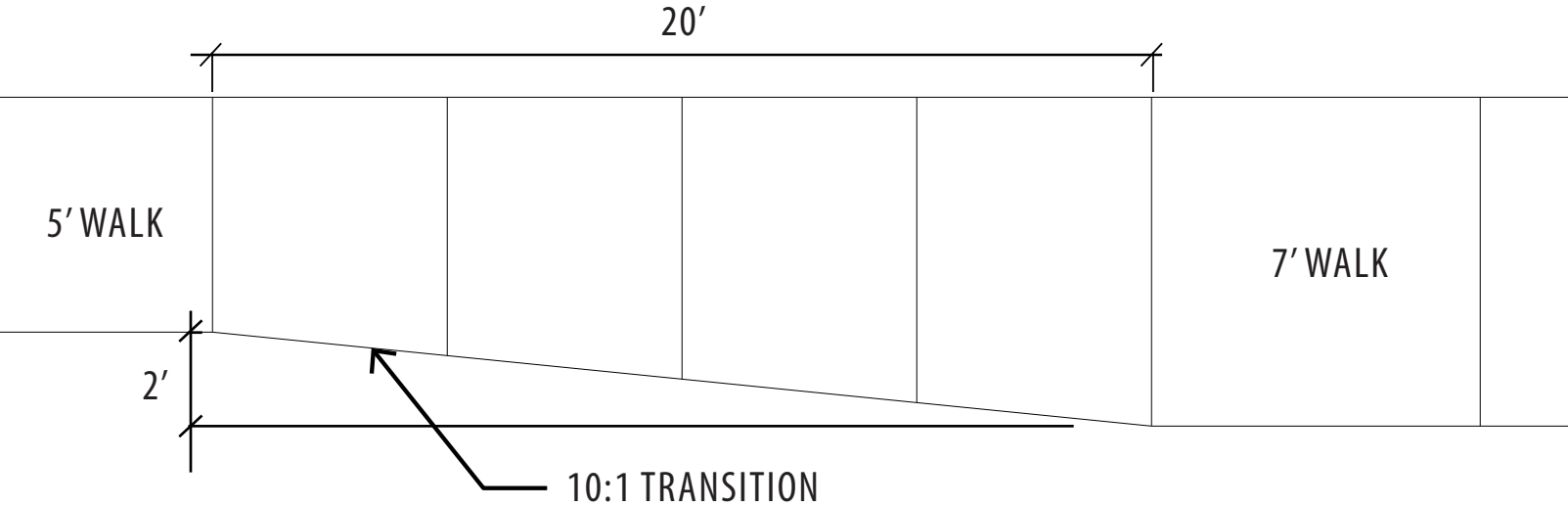
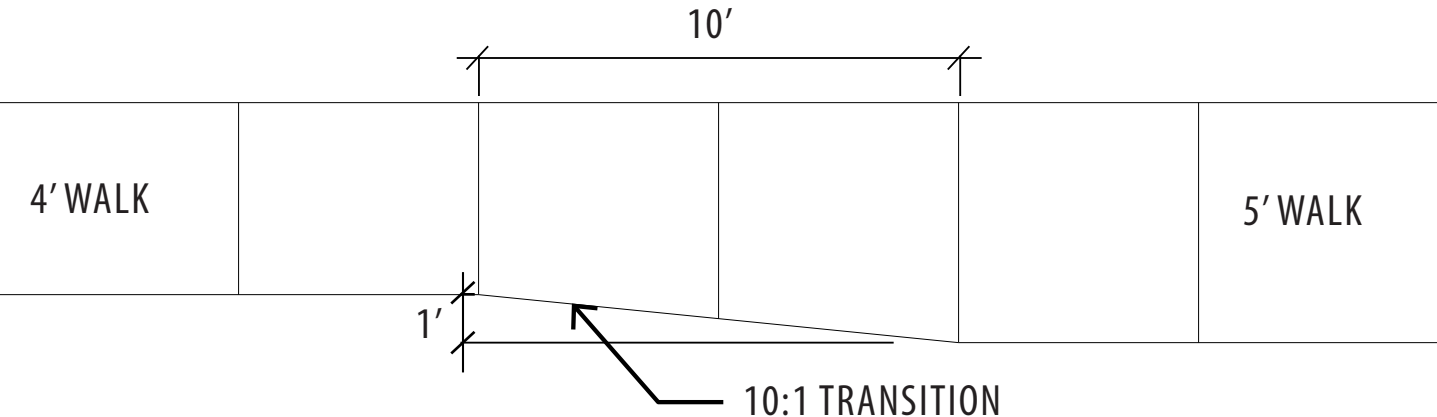
1. 4" Thick Conc. Slab, 3000 PSI.
2. #3 Rebar, 12" O.C. Each Way W/ Rebar Support Chair Every 18" O.C.
3. 2" Thick Compacted Sand Base.
4. 90% Compacted Subgrade.
5. Expansion joint. every 20lf
6. Score joint.

### Note:

All side walks to have picture frame tool finish 3" wide at joints with light broom finish perpendicular to direction of traffic.

All sidewalks built by Builder shall be located along and adjacent to the property line inside the right-of-way. Trails to be located according to plans and/or Guidelines.

# Exhibit B - 3 C Sidewalk Transition Typical Details



Scale: 1/4" = 1'-0"

# Exhibit C-1

## East Village Fence Type Key Map

Rev. 11-30-20

Entry

SH 242



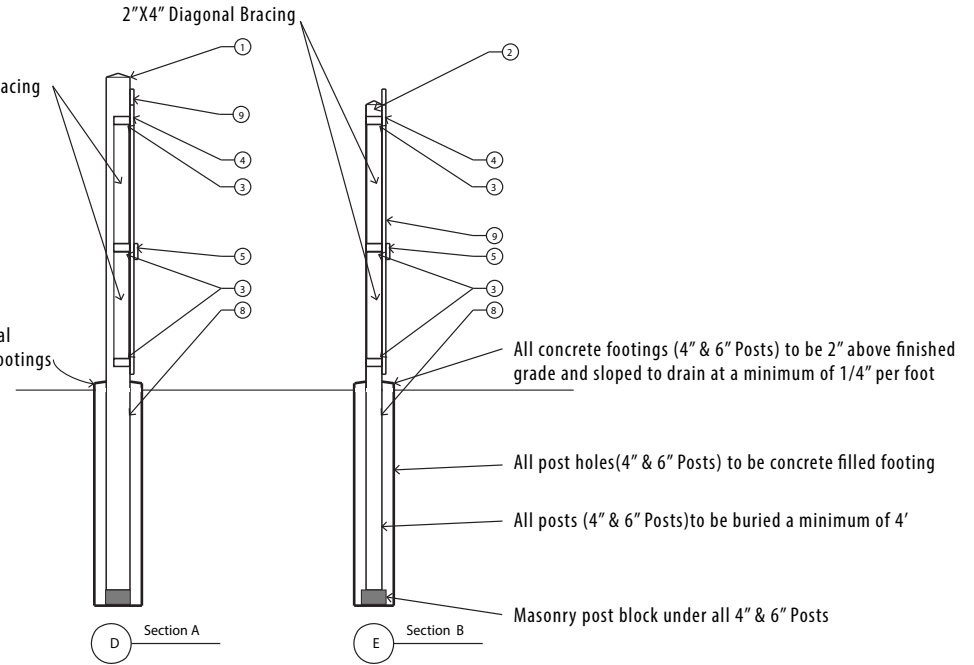
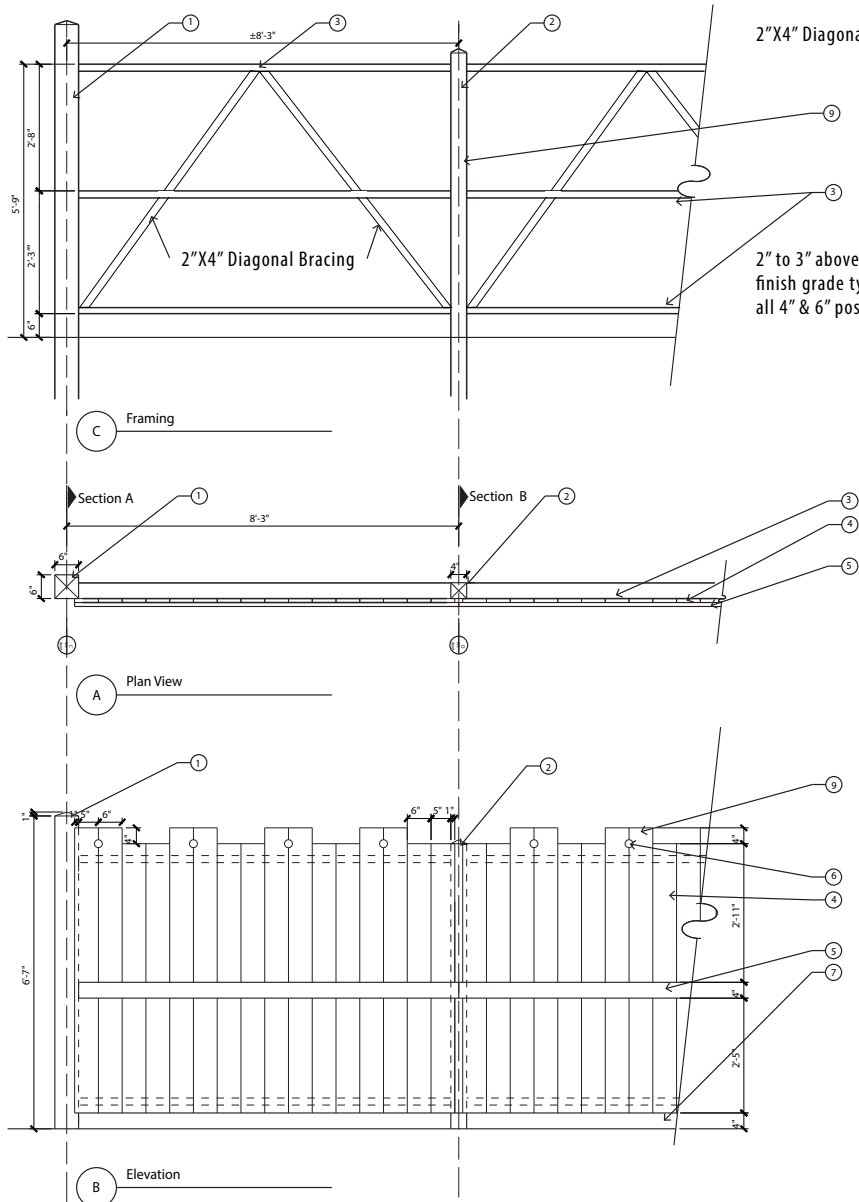
Wood fence this area to be 6' tall by builder.

### Fence Type Legend

- 6-8' Wood Fence (Type 4) By Builder
- 4' Metal Picket Fences (Type 2 & 3) by Builder
- 6' Community Fence (Type 1) by Builder
- 6' Community Fence (Type 1) by HPCA
- 4' Metal Picket Fence (Type 2) with Address Column & Address Plaque

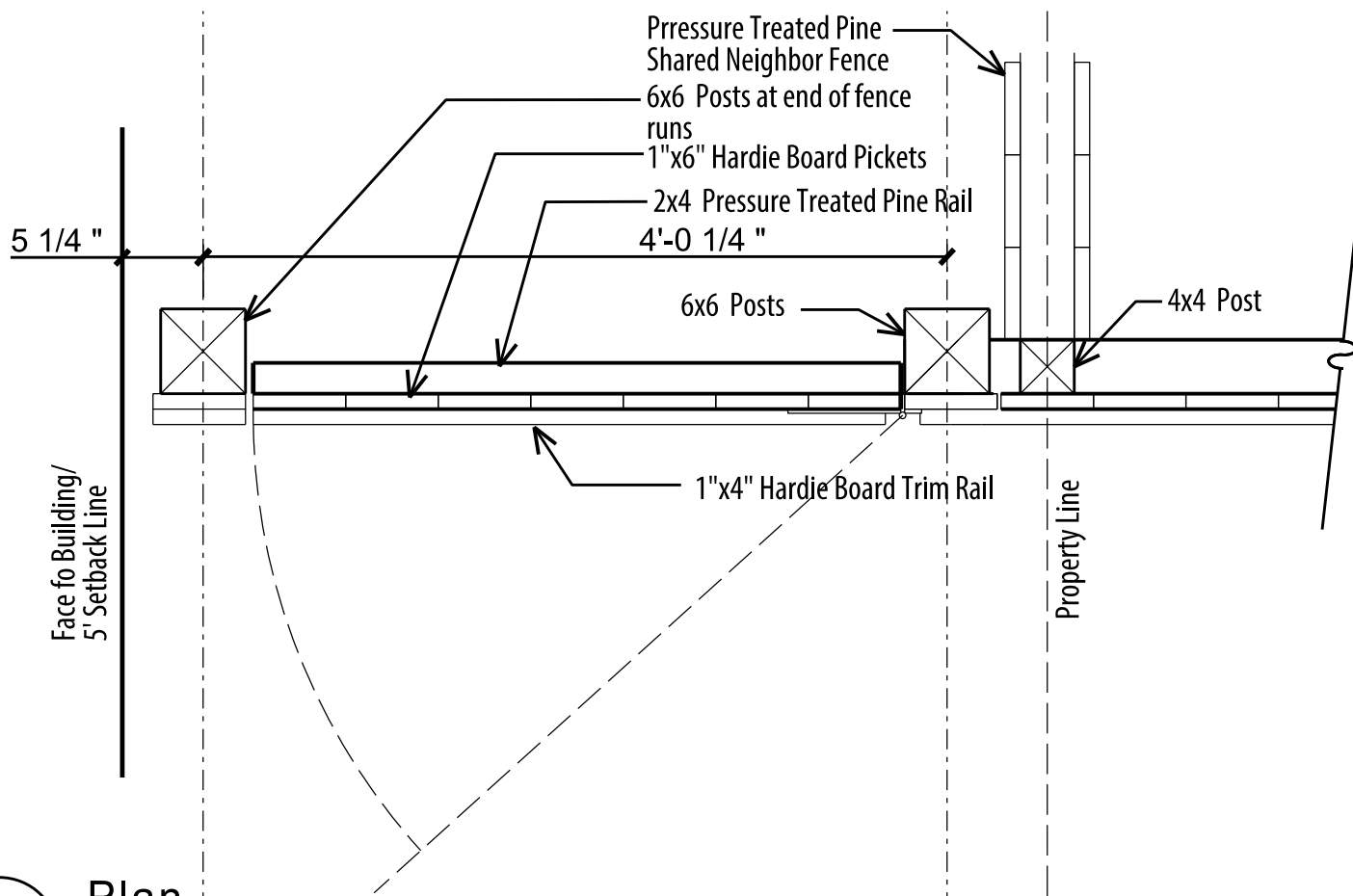
### Notes:

1. Interior lot fences, to be constructed by the Builders, are not illustrated.
2. Rear yard metal picket fences on corner lots are to turn and continue along side property line for approximately 30 feet and meet side yard fence.
3. Areas under development may change fence type, as required.
4. All side street facing community fences are to be constructed by Builder.
5. Details for all fence types provided in these guidelines.



- DETAIL CALLOUTS (All details this Sheet)**
1. 6" x 6" Pressure Treated for Ground Contact SYP Posts @ Ends of Fence Runs (Corners) and at masonry columns
  2. 4" x 4" Pressure Treated for Ground Contact SYP Posts
  3. 2" x 4" Stringer Behind
  4. 1" x 6" Hardi Plank Boards
  5. 1" x 4" Trim Rail
  6. 2" Diameter Holes, Centered on Joint
  7. 4" Bottom Gap
  8. 12" Diameter Drilled Footing depth per Builder's structural
  9. Paint front and back of fence, including support members Color Sherwin Williams "Grassland".

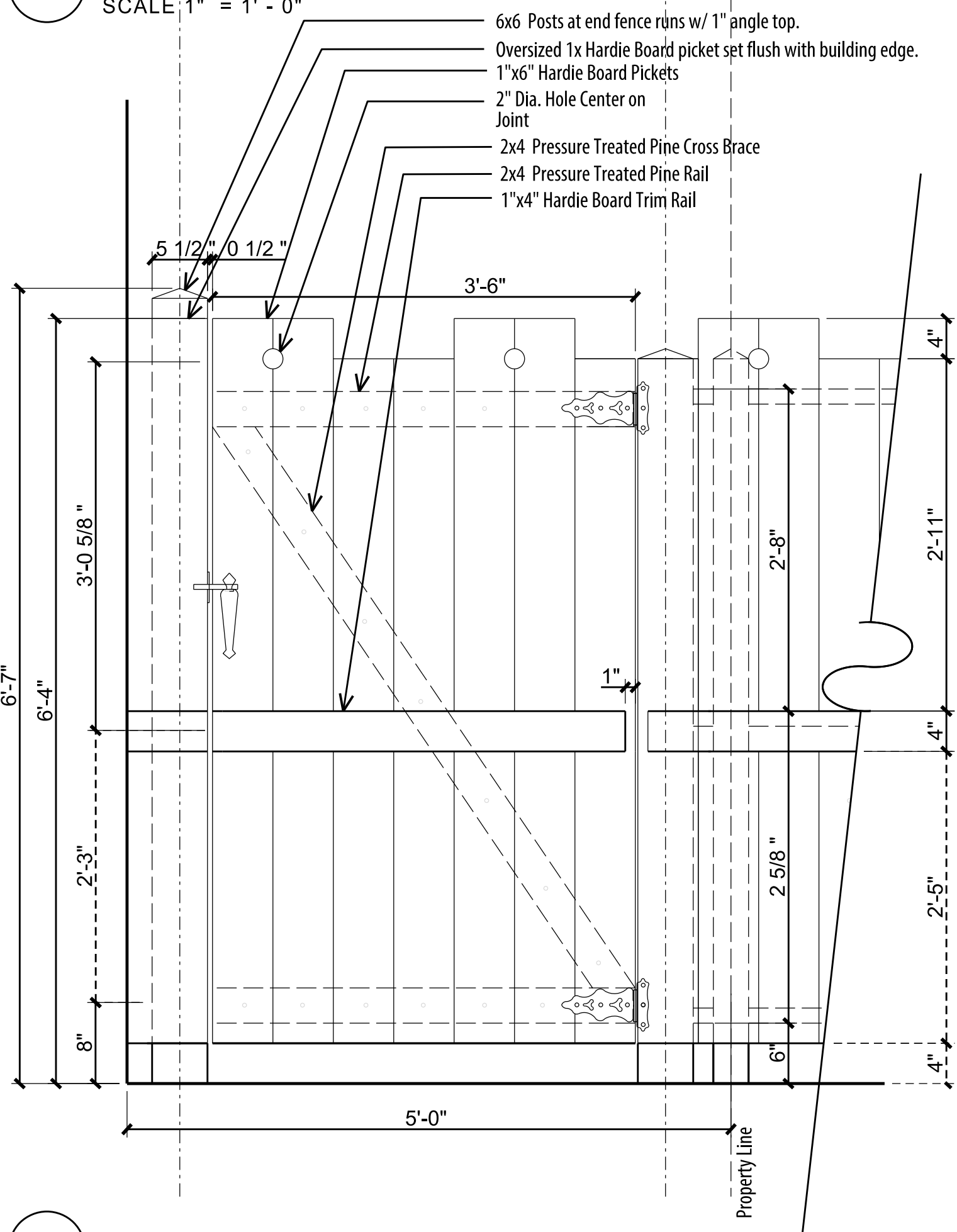
**Exhibit C-2A**  
**Type 1**  
**Community Fence**  
 (Continued on  
 next page)  
 Revised March 2020



B

Plan

SCALE 1" = 1' - 0"



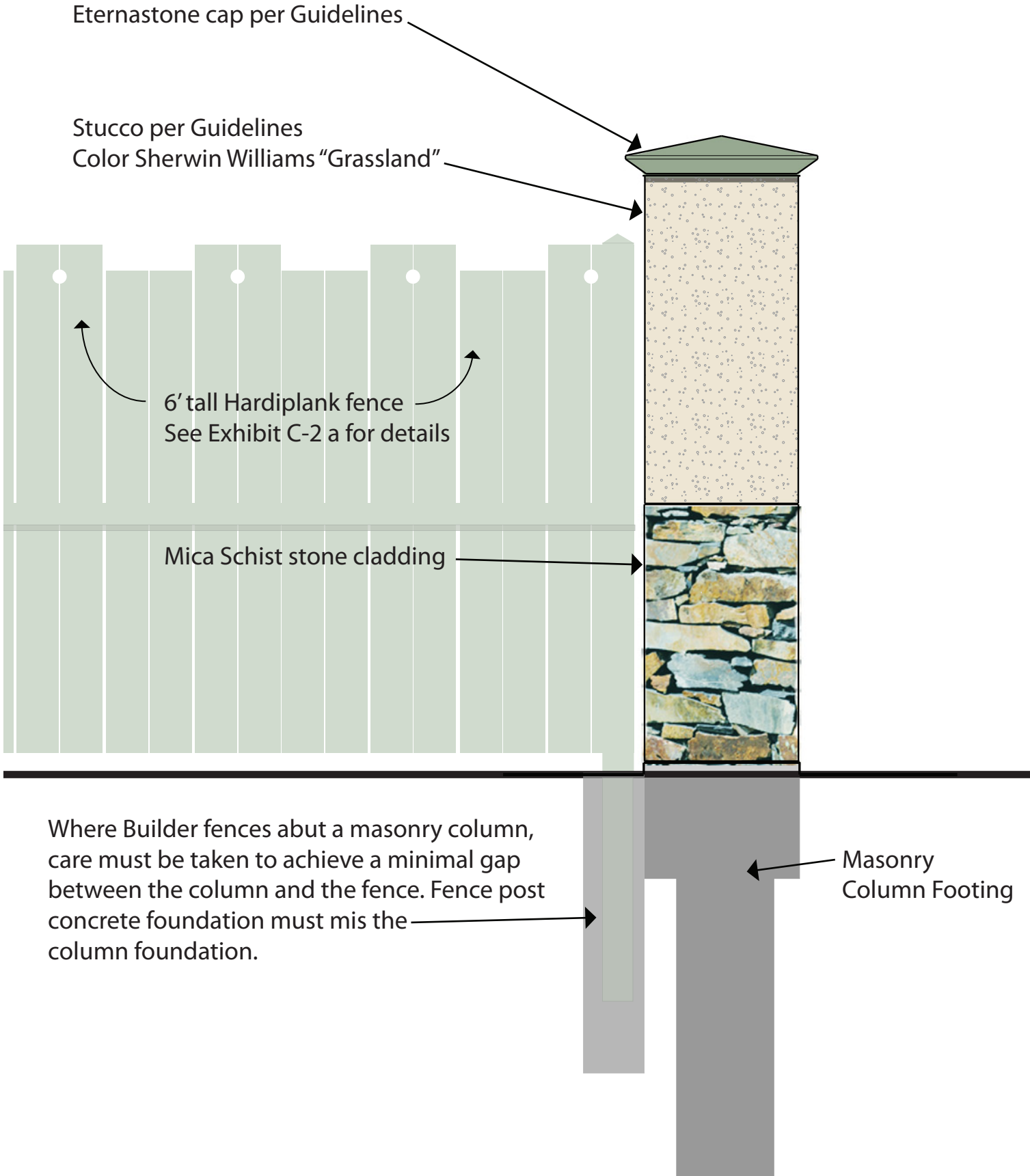
A

SCALE 1" = 1' - 0"

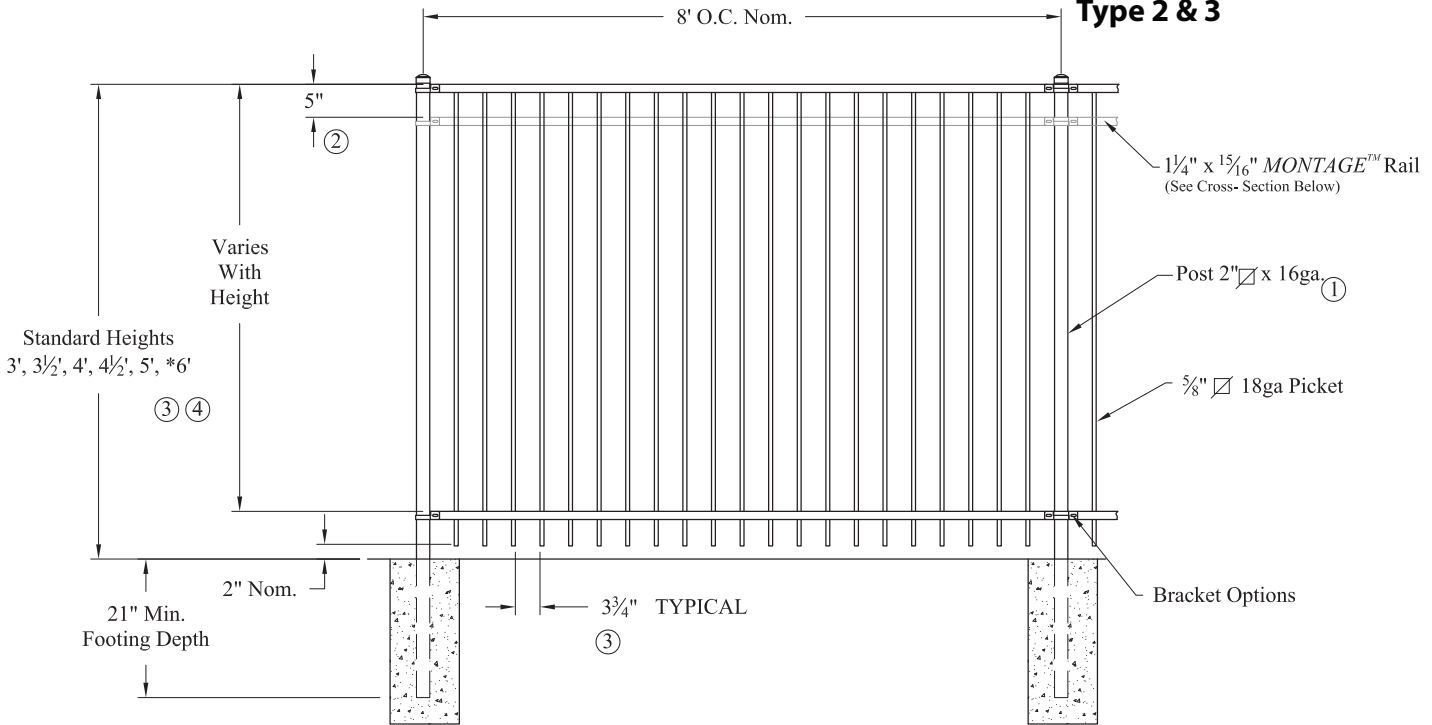
Harper Preserve East Village Builder Fence/Gate Detail

**Exhibit C-2b**

Community Fence –  
Hardi-plank with Masonry Columns



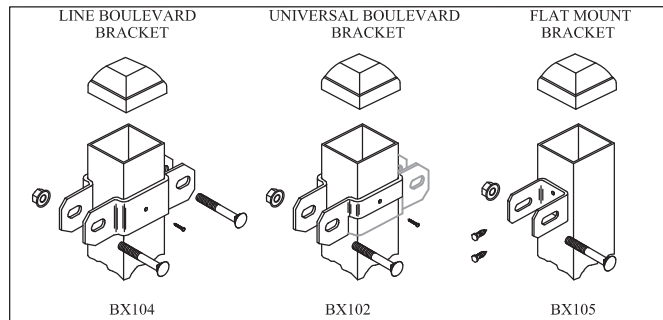
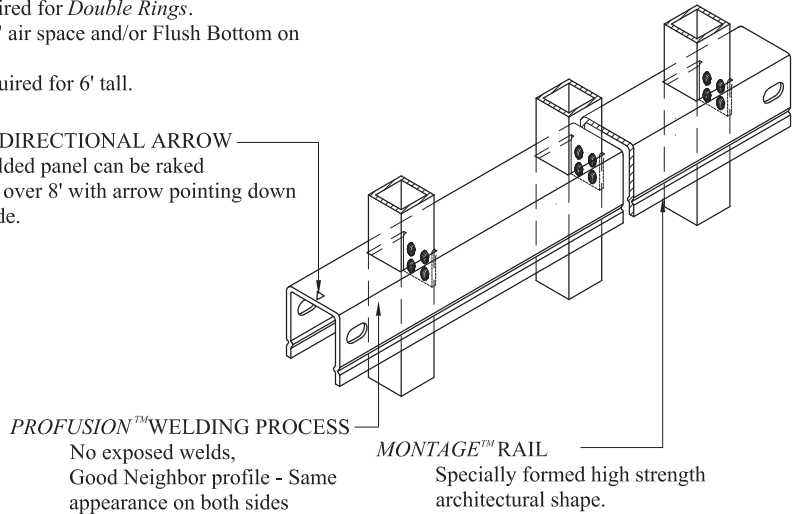
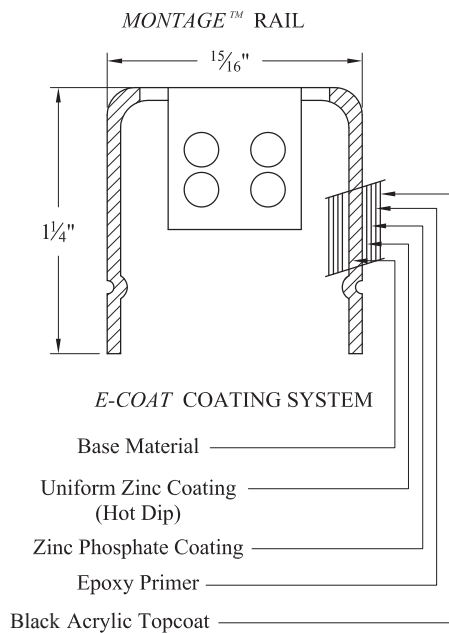
# Exhibit C-2C Metal Picket Fence Standards Type 2 & 3



**NOTES:**

- 1.) Post size depends on fence height and wind loads. See *MONTAGE™* specifications for post sizing chart.
- 2.) Third rail required for *Double Rings*.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.
- 4.) Three rails required for 6' tall.

**RAKING DIRECTIONAL ARROW**  
Welded panel can be raked 45" over 8' with arrow pointing down grade.



**RESIDENTIAL WELDED STEEL PANEL  
PRE-ASSEMBLED**

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

RMISO

Title: **MONTAGE MAJESTIC 2/3-RAIL**

DR: CI    SH . 1 of 1    SCALE: DO NOT SCALE

CK: ME    Date 7-19-11    REV: c

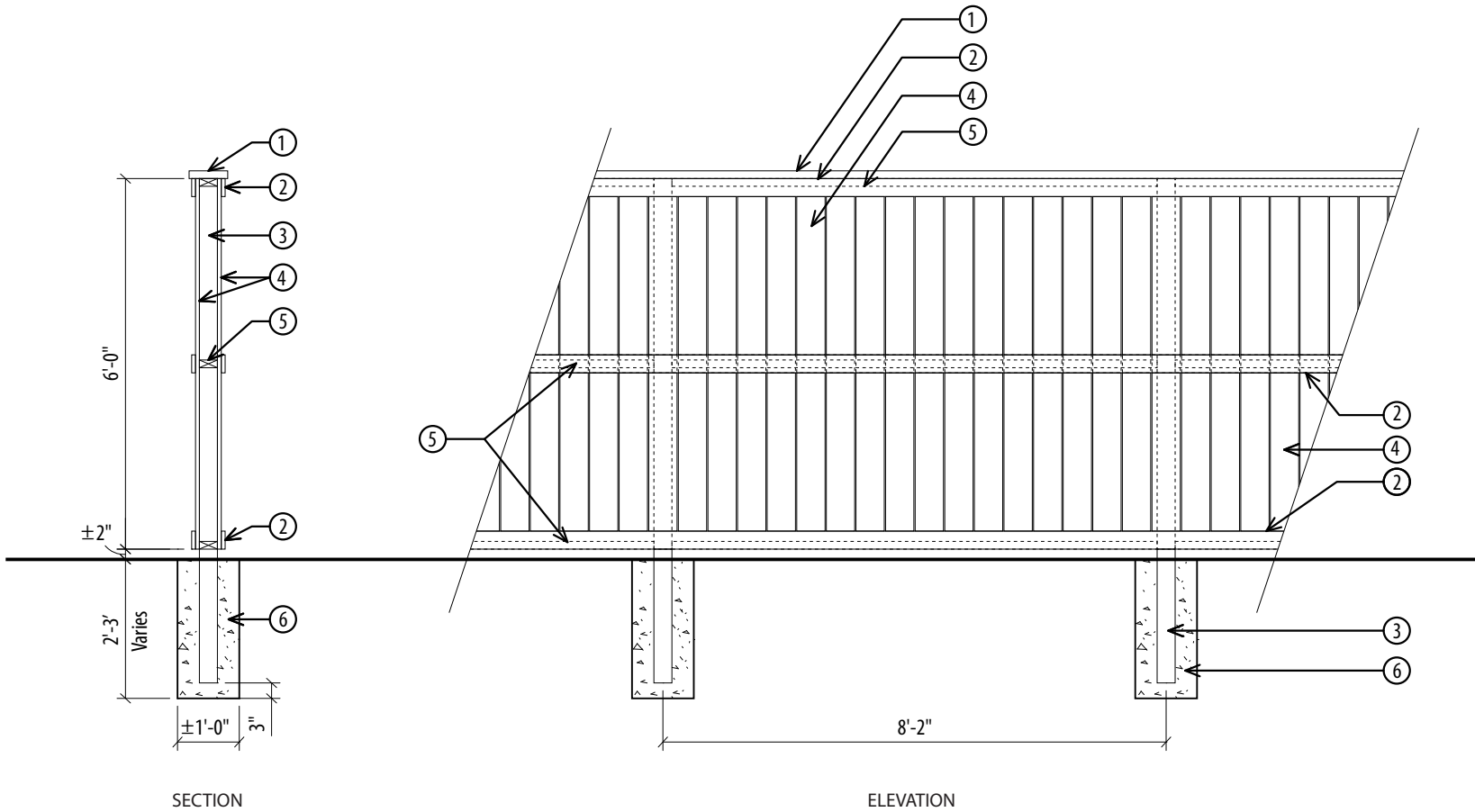


**AMERISTAR®**

1555 N. Mingo  
Tulsa, OK 74116  
1-888-333-3422  
www.ameristarfence.com

Callout Legend

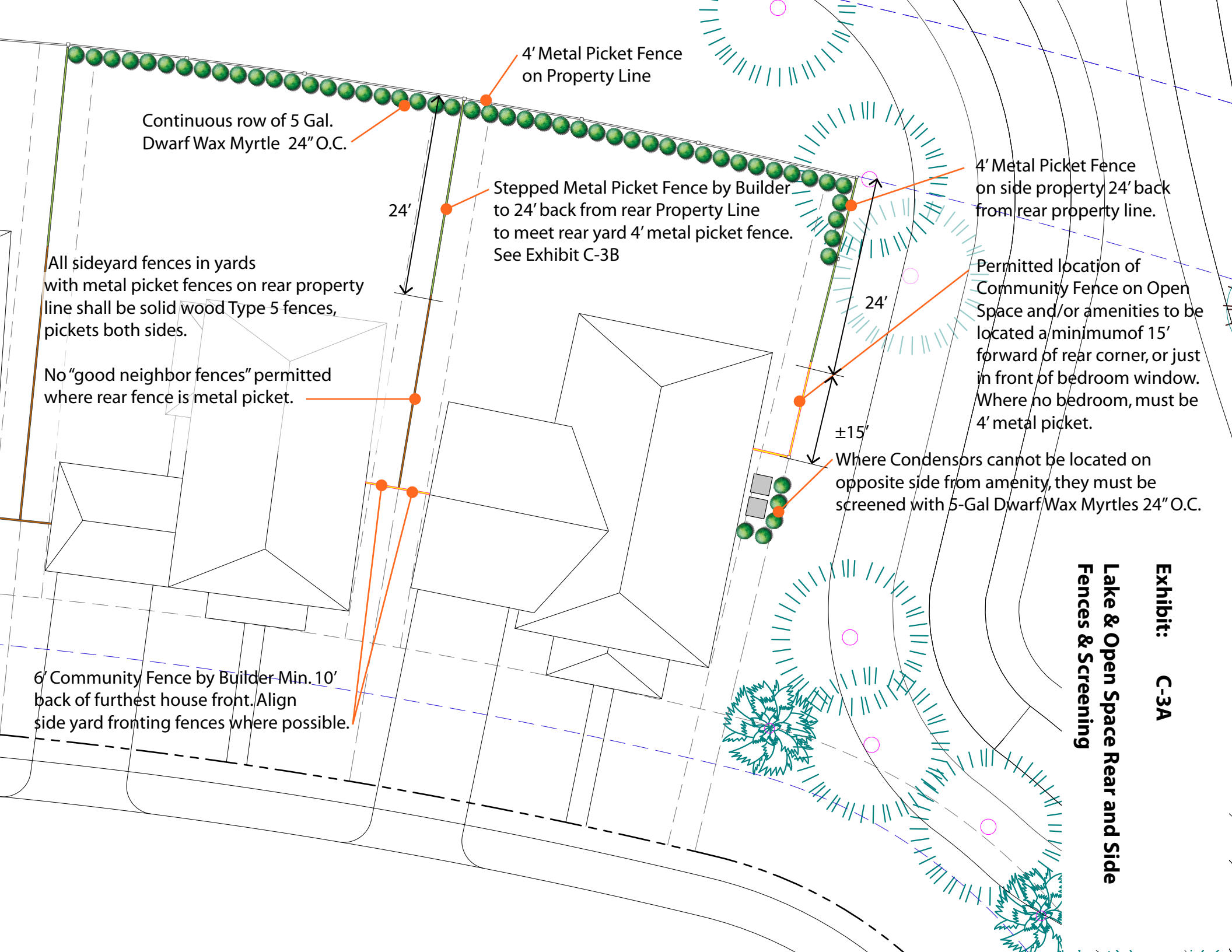
1. 2" x 8" Treated cedar cap
2. 1" x 4" Cedar Trim fence rail, both sides
3. 4" x 4" Treated SLP/ Cedar post
4. 1" x 6" Cedar pickets
5. 2" x 4" Treated SLP nailer
6. Concrete footing



**Exhibit C-2D:**  
**Internal Side and Rear Yard Wood Fence Details**  
**Type 5 Fence**

○ Fence Detail  
 NOT TO SCALE

Rev. 020915



4' Metal Picket Fence on Property Line

Continuous row of 5 Gal. Dwarf Wax Myrtle 24" O.C.

24'

Stepped Metal Picket Fence by Builder to 24' back from rear Property Line to meet rear yard 4' metal picket fence. See Exhibit C-3B

4' Metal Picket Fence on side property 24' back from rear property line.

24'

Permitted location of Community Fence on Open Space and/or amenities to be located a minimum of 15' forward of rear corner, or just in front of bedroom window. Where no bedroom, must be 4' metal picket.

All sideyard fences in yards with metal picket fences on rear property line shall be solid wood Type 5 fences, pickets both sides.

No "good neighbor fences" permitted where rear fence is metal picket.

±15'

Where Condensors cannot be located on opposite side from amenity, they must be screened with 5-Gal Dwarf Wax Myrtles 24" O.C.

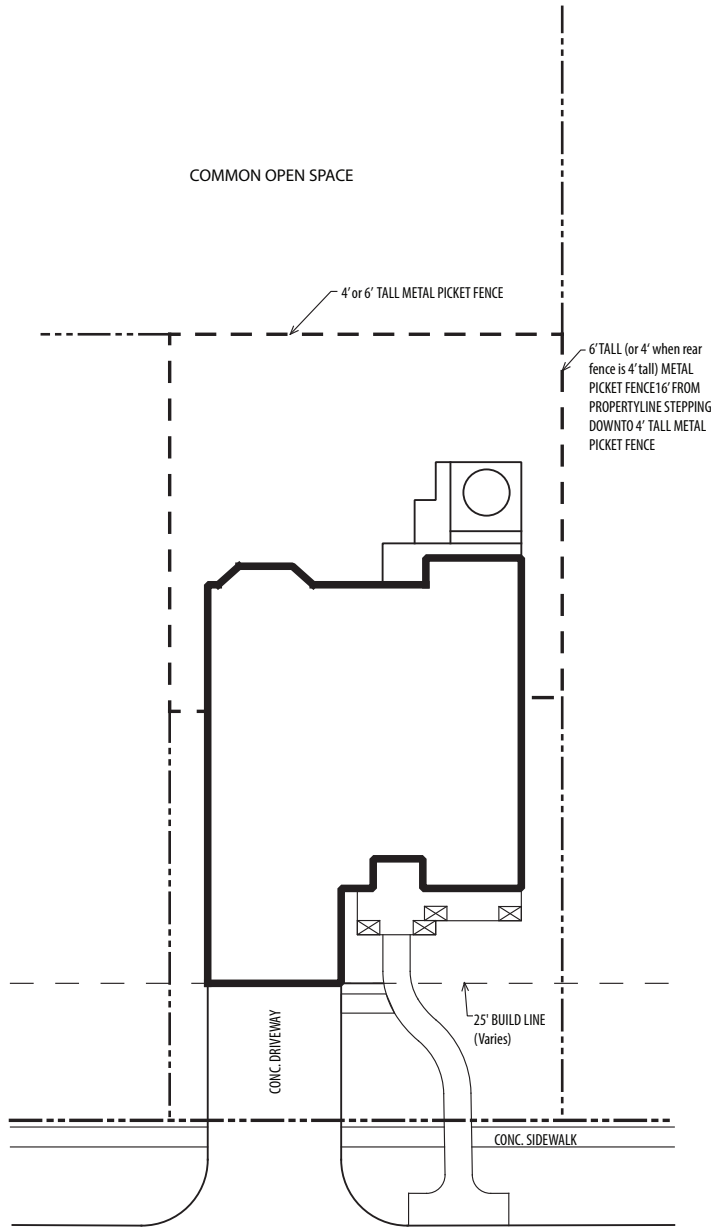
6' Community Fence by Builder - Min. 10' back of furthest house front. Align side yard fronting fences where possible.

**Exhibit: C-3A**  
**Lake & Open Space Rear and Side Fences & Screening**

**Exhibit C-3B**  
**Type 2, 3, & 5 Fences**

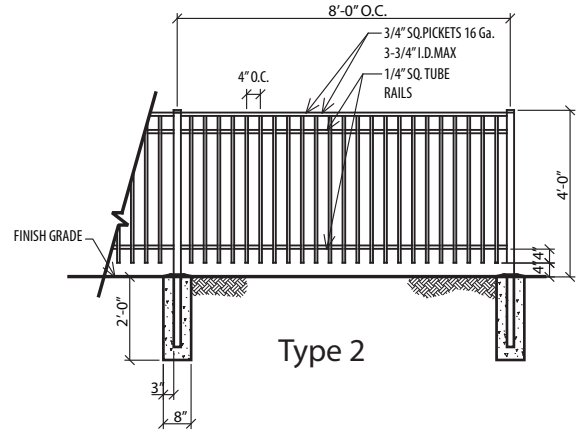
**SITE LAYOUT**

Common Open Space Lots

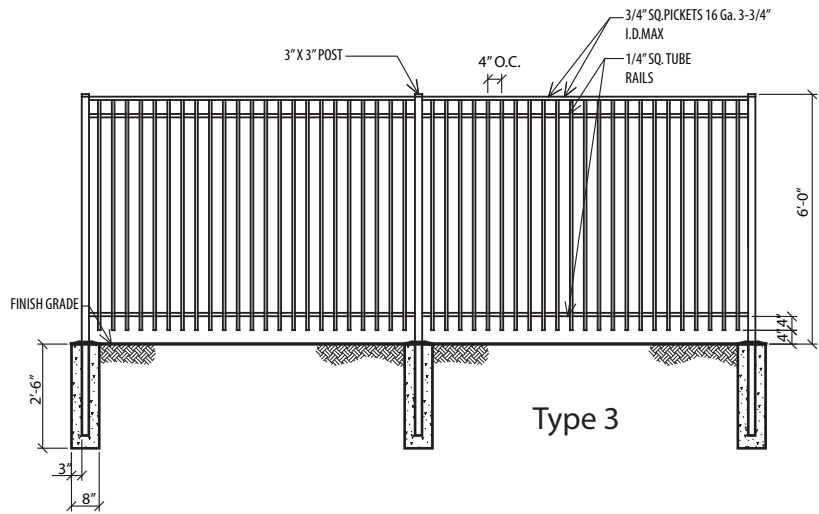


**SITE LAYOUT**

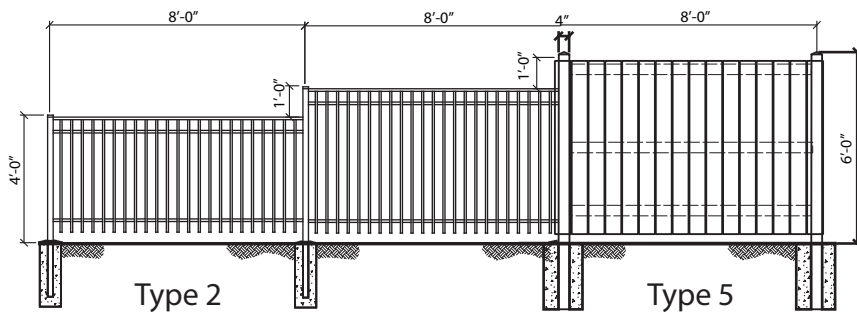
Fences



**4' Metal Picket Common Open Space Fence**



**6' Side Lot Metal Picket Fence**



**4' to 6' Fence Transition**

**Wood Fence**

See Wood Fence Exhibit for details.

# Exhibit D-1

## East Village Master Street Tree Plan

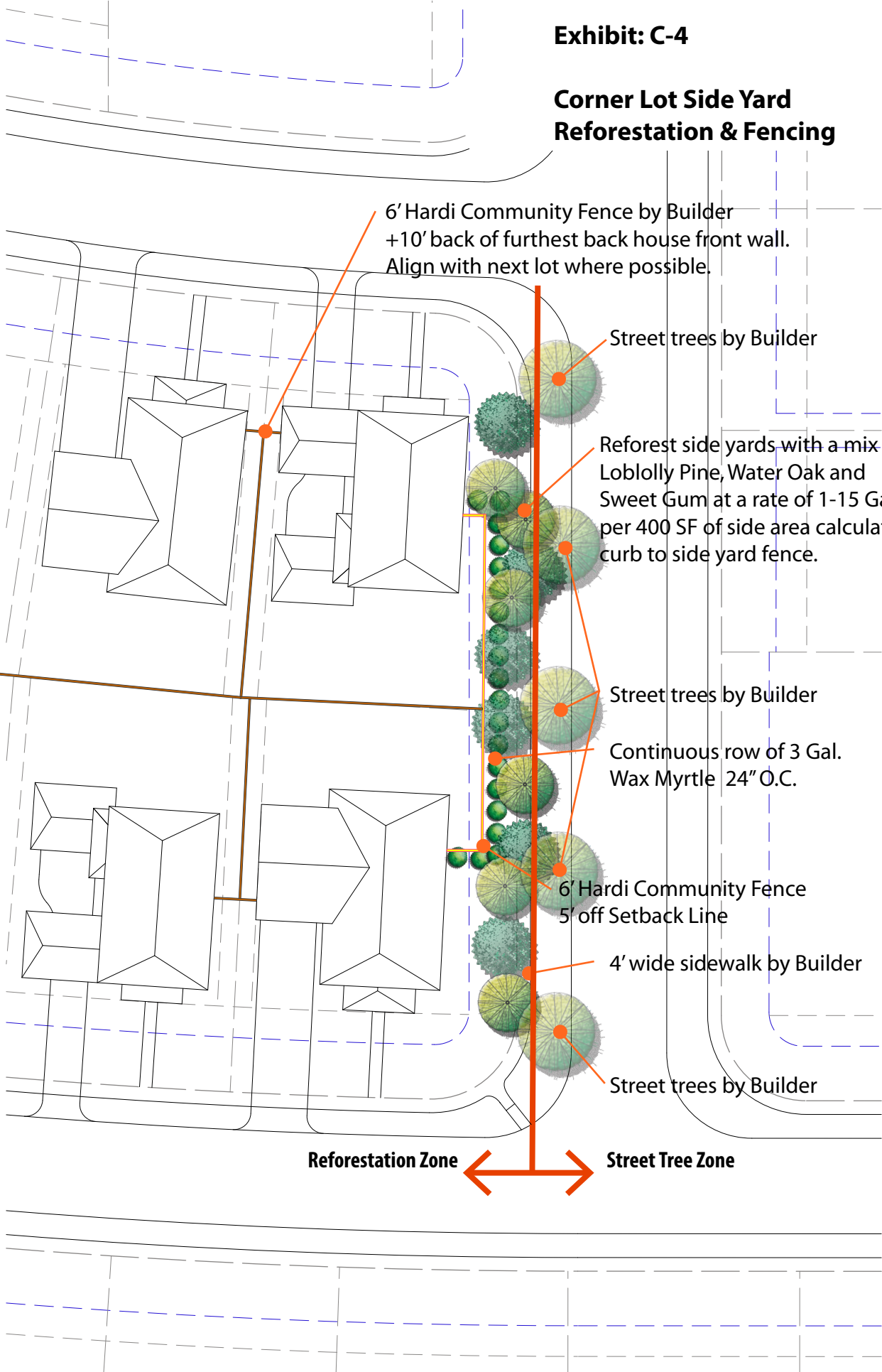


East Village Street Tree Type By Street

Tree Symbol	Lot Orientation Front Side	Tree Symbol	Front Yard Tree(s)
● ● ● ●	● ●	Live Oak	Ornamental Tree
● ● ● ●	● ●	Mexican White Oak	Canopy Tree
● ● ● ●	● ●	Mexican Sycamore	Canopy Tree
● ● ● ●	● ○	Southern Sugar Maple	Ornamental Tree
● ● ● ●	● ○	Nuttall Oak	Canopy Tree
~~~~~	○ ●	Reforestation Zone	N/A

**Exhibit: C-4**

**Corner Lot Side Yard  
Reforestation & Fencing**



6' Hardi Community Fence by Builder  
+10' back of furthest back house front wall.  
Align with next lot where possible.

Street trees by Builder

Reforest side yards with a mix of  
Loblolly Pine, Water Oak and  
Sweet Gum at a rate of 1-15 Gal. tree  
per 400 SF of side area calculated from  
curb to side yard fence.

Street trees by Builder

Continuous row of 3 Gal.  
Wax Myrtle 24" O.C.

6' Hardi Community Fence  
5' off Setback Line

4' wide sidewalk by Builder

Street trees by Builder

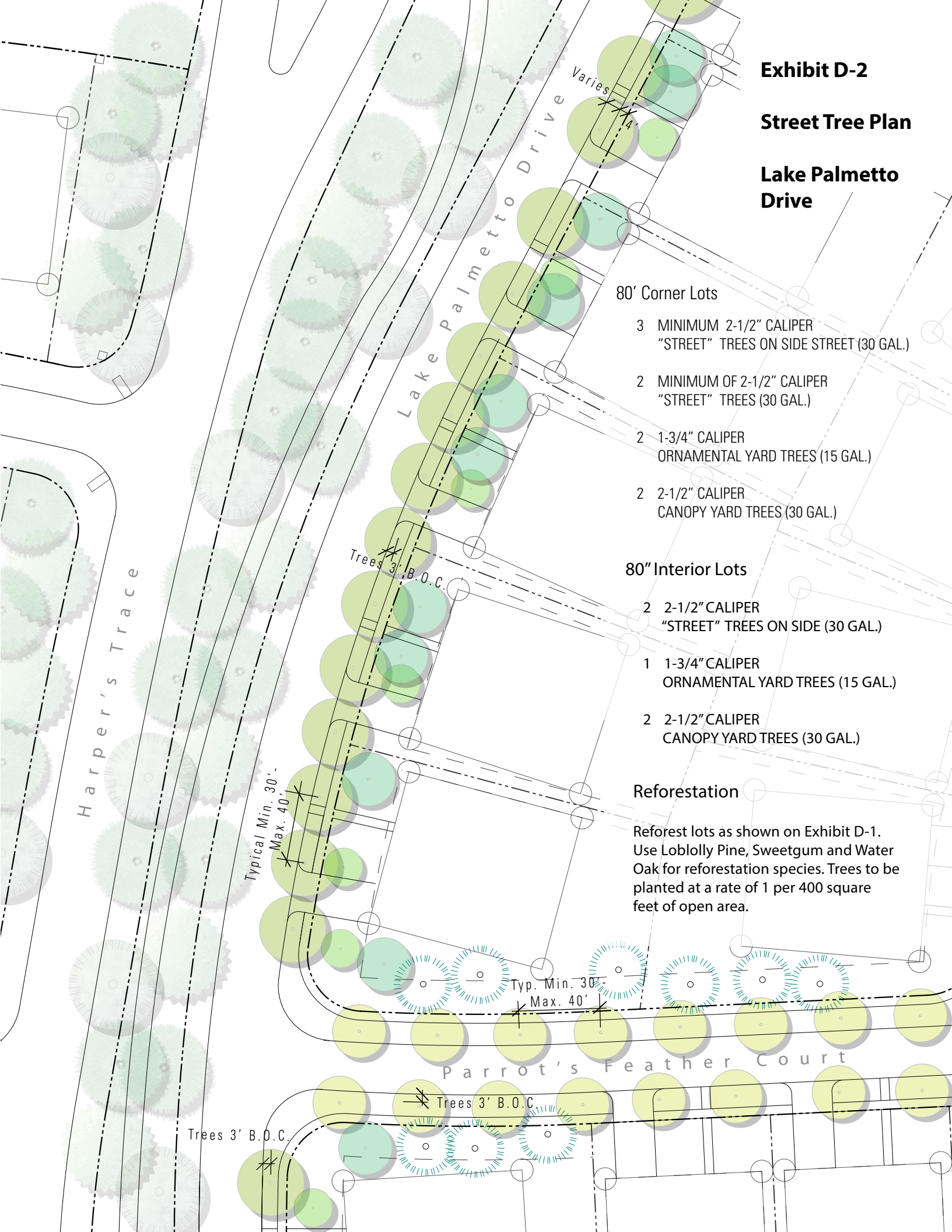
**Reforestation Zone**

**Street Tree Zone**

# Exhibit D-2

## Street Tree Plan

### Lake Palmetto Drive



80' Corner Lots

- 3 MINIMUM 2-1/2" CALIPER "STREET" TREES ON SIDE STREET (30 GAL.)
- 2 MINIMUM OF 2-1/2" CALIPER "STREET" TREES (30 GAL.)
- 2 1-3/4" CALIPER ORNAMENTAL YARD TREES (15 GAL.)
- 2 2-1/2" CALIPER CANOPY YARD TREES (30 GAL.)

80' Interior Lots

- 2 2-1/2" CALIPER "STREET" TREES ON SIDE (30 GAL.)
- 1 1-3/4" CALIPER ORNAMENTAL YARD TREES (15 GAL.)
- 2 2-1/2" CALIPER CANOPY YARD TREES (30 GAL.)

Reforestation

Reforest lots as shown on Exhibit D-1. Use Loblolly Pine, Sweetgum and Water Oak for reforestation species. Trees to be planted at a rate of 1 per 400 square feet of open area.

Harper's Trace

Lake Palmetto Drive

Parrot's Feather Court

Typical Min. 30'  
Max. 40'

Typ. Min. 30'  
Max. 40'

Trees 3' B.O.C.

Trees 3' B.O.C.

Trees 3' B.O.C.

Varies



65' Corner Lots

55' Corner Lots

3 MINIMUM OF 2 1/2" CALIPER  
 2 "STREET" TREES ON SIDE STREET (30 GAL.)

2 MINIMUM OF 2 1/2" CALIPER  
 2 "STREET" TREES (30 GAL.)

2 1 3/4" CALIPER  
 1 ORNAMENTAL YARD TREES (15 GAL.)  
 or 2.5" Canopy Yard Tree (30 Gal)  
 Per exhibit D-1

65' Interior Lots

55' Interior Lots

2 2 1/2" CALIPER  
 2 "STREET" TREES (30 GAL.)

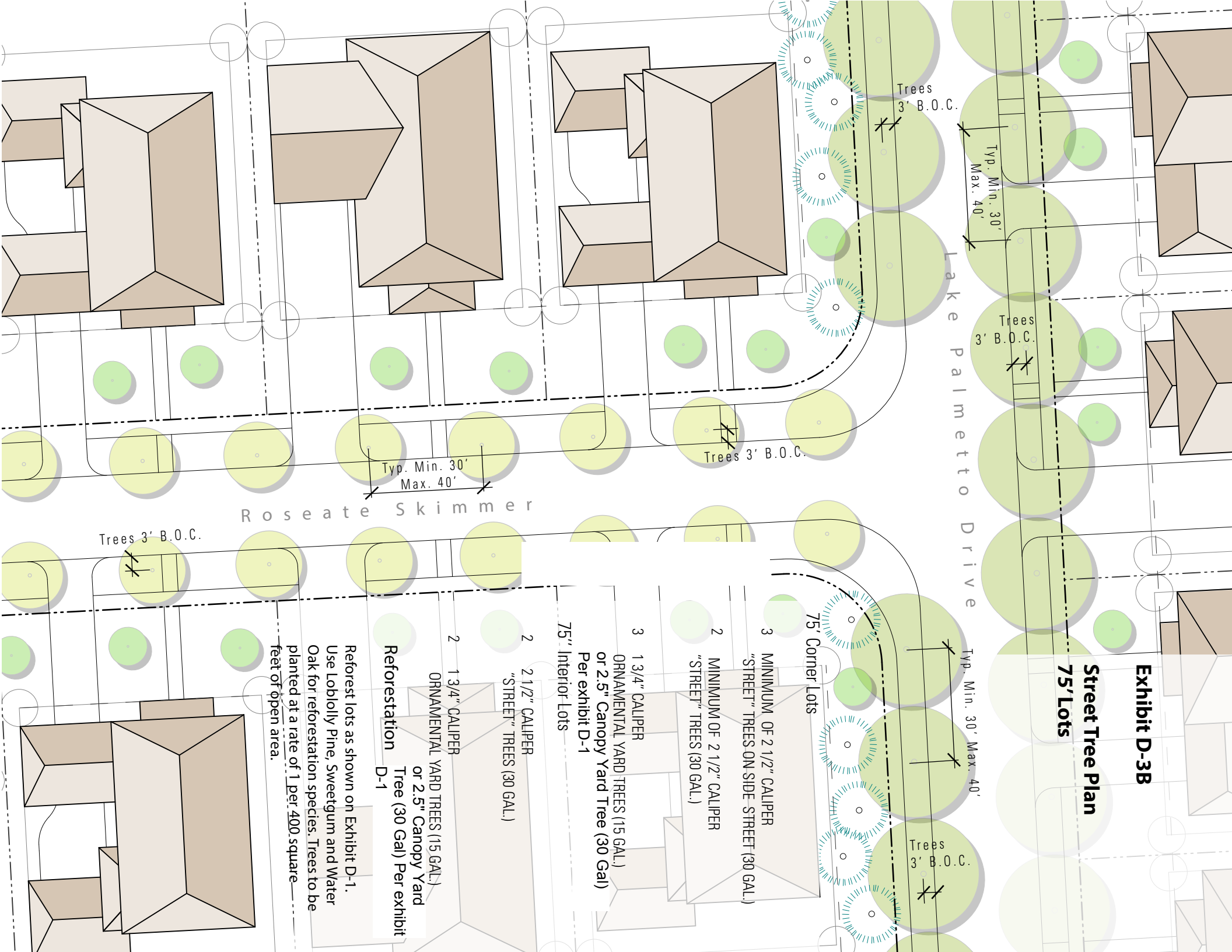
2 1 3/4" CALIPER  
 1 ORNAMENTAL YARD TREES (15 GAL.)  
 or 2.5" Canopy Yard Tree (30 Gal)  
 Per exhibit D-1

Reforestation

Reforest lots as shown on Exhibit D-1.  
 Use Loblolly Pine, Sweetgum and  
 Water Oak for reforestation species.  
 Trees to be planted at a rate of  
 1 per 400 square feet of open area.

# Exhibit D-3B

## Street Tree Plan 75' Lots



Trees  
3' B.O.C.

Typ. Min. 30'  
Max. 40'

Trees  
3' B.O.C.

Trees 3' B.O.C.

Typ. Min. 30'  
Max. 40'

Roseate Skimmer

Trees 3' B.O.C.

Typ. Min. 30' Max. 40'

Trees  
3' B.O.C.

- 3 MINIMUM OF 2 1/2" CALIPER "STREET" TREES ON SIDE STREET (30 GAL.)
- 2 MINIMUM OF 2 1/2" CALIPER "STREET" TREES (30 GAL.)
- 3 1 3/4" CALIPER ORNAMENTAL YARD TREES (15 GAL.) or 2.5" Canopy Yard Tree (30 Gal) Per exhibit D-1
- 75" Interior Lots
- 2 2 1/2" CALIPER "STREET" TREES (30 GAL.)
- 2 1 3/4" CALIPER ORNAMENTAL YARD TREES (15 GAL.) or 2.5" Canopy Yard Tree (30 Gal) Per exhibit D-1

Reforestation  
D-1

Reforest lots as shown on Exhibit D-1. Use Loblolly Pine, Sweetgum and Water Oak for reforestation species. Trees to be planted at a rate of 1 per 400 square feet of open area.

# Exhibit D-3C

## Street Tree Plan

### 80' Lots

80' Corner Lots

3-4 MINIMUM OF 2-1/2" CALIPER  
"STREET" TREES ON SIDE STREET  
(30 GAL.)

2 MINIMUM OF 2-1/2" CALIPER  
"STREET" TREES (30 GAL.)

2 1-3/4" CALIPER  
ORNAMENTAL YARD TREES (15 GAL.)

2 2-1/2" CALIPER  
CANOPY YARD TREES (30 GAL.)

80" Interior Lots

2 2-1/2" CALIPER  
"STREET" TREES ON SIDE (30 GAL.)

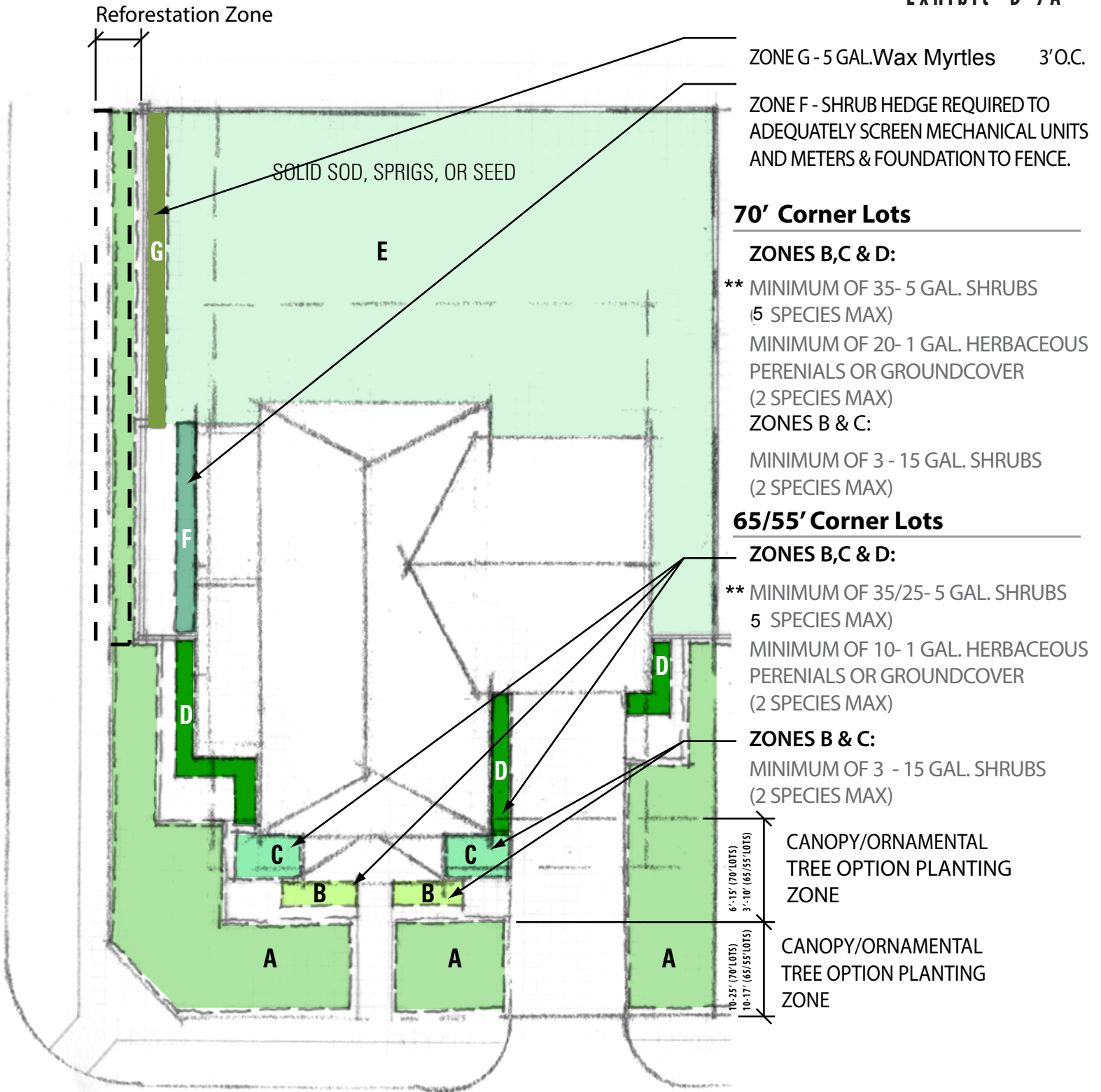
1 1-3/4" CALIPER  
ORNAMENTAL YARD TREES (15 GAL.)

2 2-1/2" CALIPER  
CANOPY YARD TREES (30 GAL.)

### Reforestation

Reforest lots as shown on Exhibit D-1.  
Use Loblolly Pine, Sweetgum and Water  
Oak for reforestation species. Trees to be  
planted at a rate of 1 per 400 square  
feet of open area.





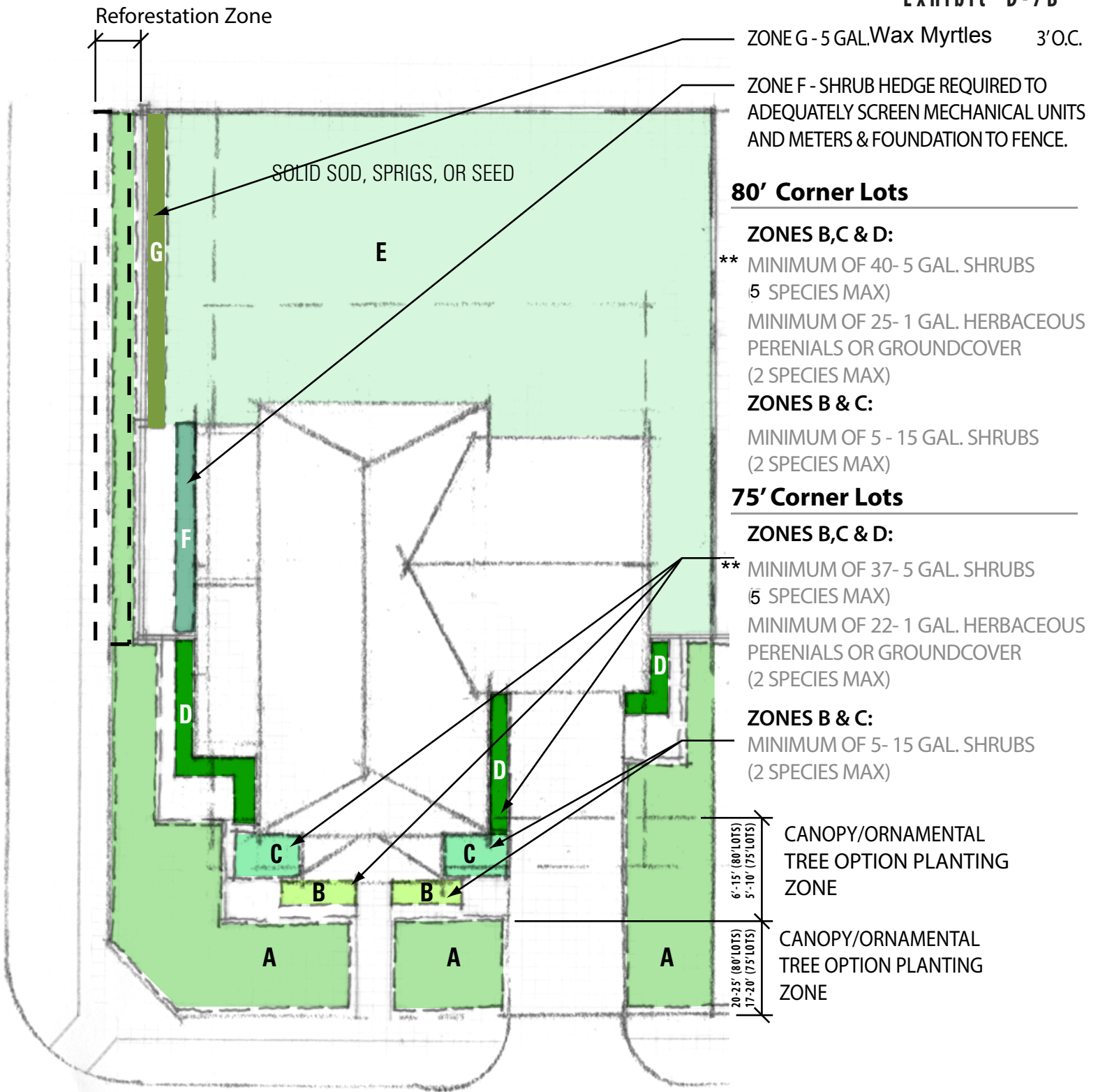
# Builder Minimum Landscape Planting-Corner Lots

- |                                                                                                 |                                                                                                 |
|-------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">A</span> Type A | <span style="background-color: #008000; border: 1px solid black; padding: 2px;">D</span> Type D |
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">B</span> Type B | <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">E</span> Type E |
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">C</span> Type C | <span style="background-color: #4682B4; border: 1px solid black; padding: 2px;">F</span> Type F |
|                                                                                                 | <span style="background-color: #6B8E23; border: 1px solid black; padding: 2px;">G</span> Type G |

**ZONE A:**  
TURF & TREES ONLY

NTS

\* For Metal Fence Screening requirements see Exhibit C-3A  
 \*For Corner Lot side yard reforestation details see exhibit C-4  
 \*\* For every 2 - 5 gallon plants you can substitute 3 - 3 gallon Plants or a a mixture with the same ratio. Example: If you have 20 - 5 gallons required, you can use 30 - 3 gallons or 10 - 5 gallons with 15 - 3 gallons.



ZONE G - 5 GAL. Wax Myrtles 3' O.C.

ZONE F - SHRUB HEDGE REQUIRED TO ADEQUATELY SCREEN MECHANICAL UNITS AND METERS & FOUNDATION TO FENCE.

**80' Corner Lots**

**ZONES B,C & D:**

- \*\* MINIMUM OF 40- 5 GAL. SHRUBS (5 SPECIES MAX)
- MINIMUM OF 25- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (2 SPECIES MAX)

**ZONES B & C:**

- MINIMUM OF 5 - 15 GAL. SHRUBS (2 SPECIES MAX)

**75' Corner Lots**

**ZONES B,C & D:**

- \*\* MINIMUM OF 37- 5 GAL. SHRUBS (5 SPECIES MAX)
- MINIMUM OF 22- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (2 SPECIES MAX)

**ZONES B & C:**

- MINIMUM OF 5- 15 GAL. SHRUBS (2 SPECIES MAX)

6'-15' (80' LOTS)  
5'-10' (75' LOTS)  
CANOPY/ORNAMENTAL TREE OPTION PLANTING ZONE

20'-25' (80' LOTS)  
17'-20' (75' LOTS)  
CANOPY/ORNAMENTAL TREE OPTION PLANTING ZONE

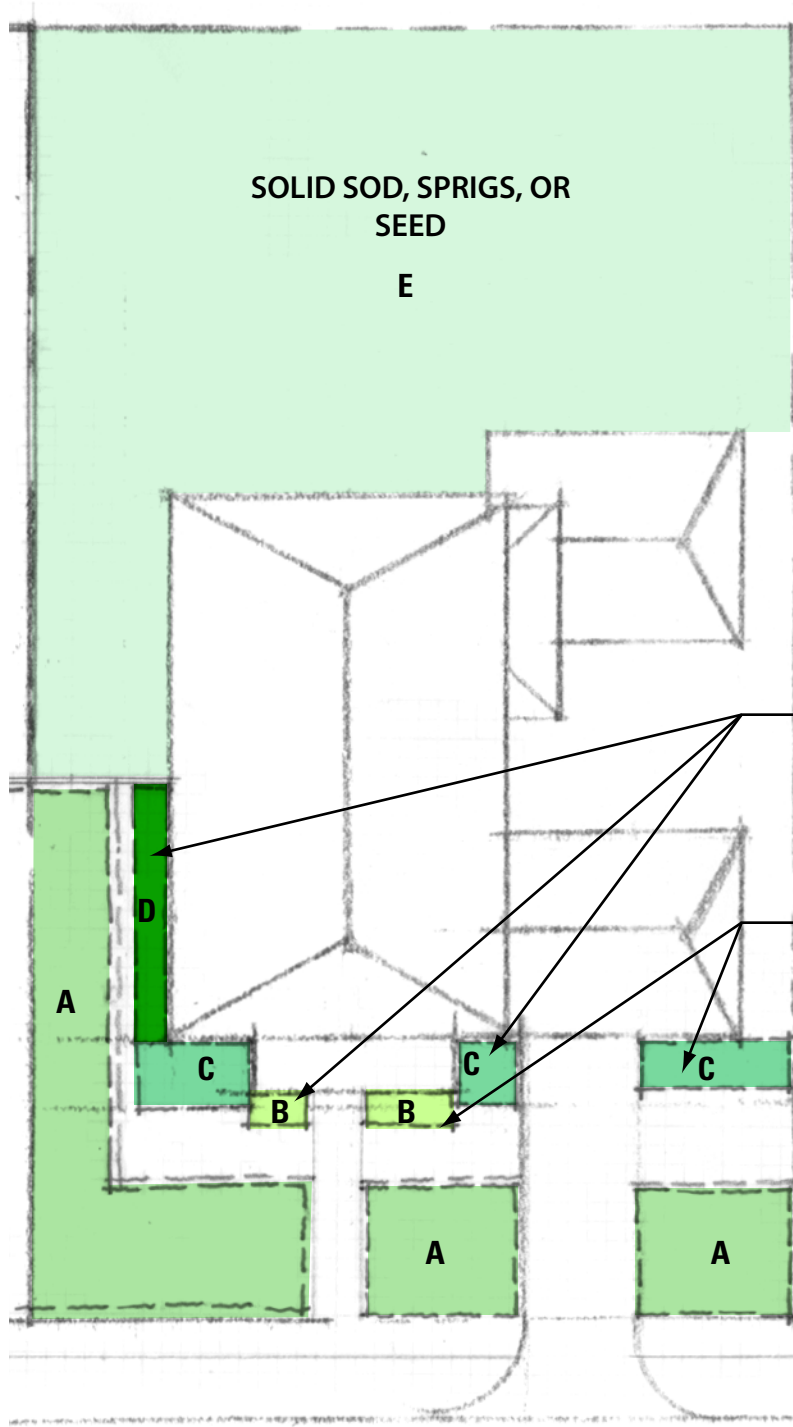
Builder Minimum Landscape Planting-Corner Lots

- |                                                                                                 |                                                                                                 |
|-------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">A</span> Type A | <span style="background-color: #008000; border: 1px solid black; padding: 2px;">D</span> Type D |
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">B</span> Type B | <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">E</span> Type E |
| <span style="background-color: #90EE90; border: 1px solid black; padding: 2px;">C</span> Type C | <span style="background-color: #008000; border: 1px solid black; padding: 2px;">F</span> Type F |
|                                                                                                 | <span style="background-color: #008000; border: 1px solid black; padding: 2px;">G</span> Type G |

**ZONE A:**

TURF & TREES ONLY

- \* For Metal Fence Screening requirements see Exhibit C-3A
- \* For Corner Lot side yard reforestation details see exhibit C-4
- \*\* For every 2 - 5 gallon plants you can substitute 3 - 3 gallon Plants or a mixture with the same ratio. Example: If you have 20 - 5 gallons required, you can use 30 - 3 gallons or 10 - 5 gallons with 15 - 3 gallons.



EVERGREEN SHRUB HEDGE REQUIRED TO ADEQUATELY SCREEN MECHANICAL UNITS AND METERS

**70' Interior Lots**

**ZONES B,C & D:**

\*\* MINIMUM OF 30 - 5 GAL. SHRUBS (5 SPECIES MAX)

MINIMUM OF 35- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (2 SPECIES MAX)

**ZONES B & C:**

MINIMUM OF 2 - 15 GAL. SHRUBS (3 SPECIES MAX)

**65/55' Interior Lots**

**ZONES B,C & D:**

\*\* MINIMUM OF 25- 5 GAL. SHRUBS (5 SPECIES MAX)

MINIMUM OF 10- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (3 SPECIES MAX)

**ZONES B & C:**

MINIMUM OF 2 - 15 GAL. SHRUBS (2 SPECIES MAX)

CANOPY/ ORNAMENTAL TREE OPTION PLANTING ZONE

CANOPY/ORNAMENTAL TREE OPTION PLANTING ZONE

Builder Minimum Landscape Planting-Interior Lots

- A Type A
- B Type B
- C Type C

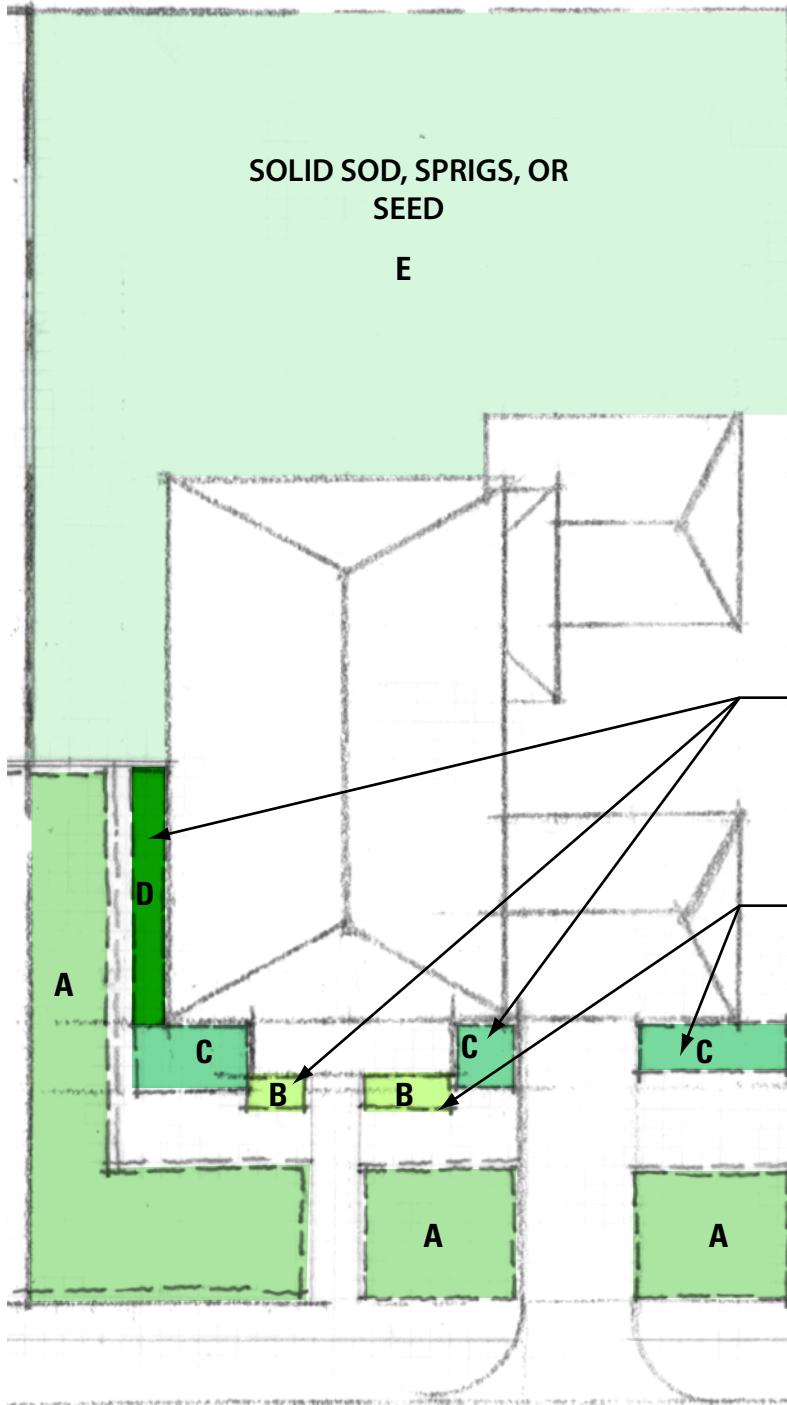
- D Type D
- E Type E

**ZONE A:** Turf and Trees only

\* For Metal Fence Screening requirements see Exhibit C-3A

\*For Corner Lot side yard reforestation details see exhibit C-4

\*\* For every 2 - 5 gallon plants required you can substitute 3 - 3 gallon Plants or a a mixture with the same ratio. Example: If you have 20 - 5 gallons required, you can use 30 - 3 gallons or 10 - 5 gallons with 15 - 3 gallons.



EVERGREEN SHRUB HEDGE REQUIRED TO ADEQUATELY SCREEN MECHANICAL UNITS AND METERS

**80' Interior Lots**

**ZONES B,C & D:**

\*\* MINIMUM OF 35 - 5 GAL. SHRUBS 5 SPECIES MAX)

MINIMUM OF 37- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (2 SPECIES MAX)

**ZONES B & C:**

MINIMUM OF 3 - 15 GAL. SHRUBS (3 SPECIES MAX)

**75' Interior Lots**

**ZONES B,C & D:**

\*\* MINIMUM OF 33- 5 GAL. SHRUBS 5 SPECIES MAX)

MINIMUM OF 35- 1 GAL. HERBACEOUS PERENIALS OR GROUNDCOVER (3 SPECIES MAX)

**ZONES B & C:**

MINIMUM OF 3 - 15 GAL. SHRUBS (2 SPECIES MAX)

CANOPY/ ORNAMENTAL TREE OPTION PLANTING ZONE

CANOPY/ORNAMENTAL TREE OPTION PLANTING ZONE

20'-25' (80' LOTS) 6'-15' (80' LOTS)  
17'-20' (75' LOTS) 5'-10' (75' LOTS)

Builder Minimum Landscape Planting-Interior Lots

**A** Type A

**D** Type D

**B** Type B

**E** Type E

**C** Type C

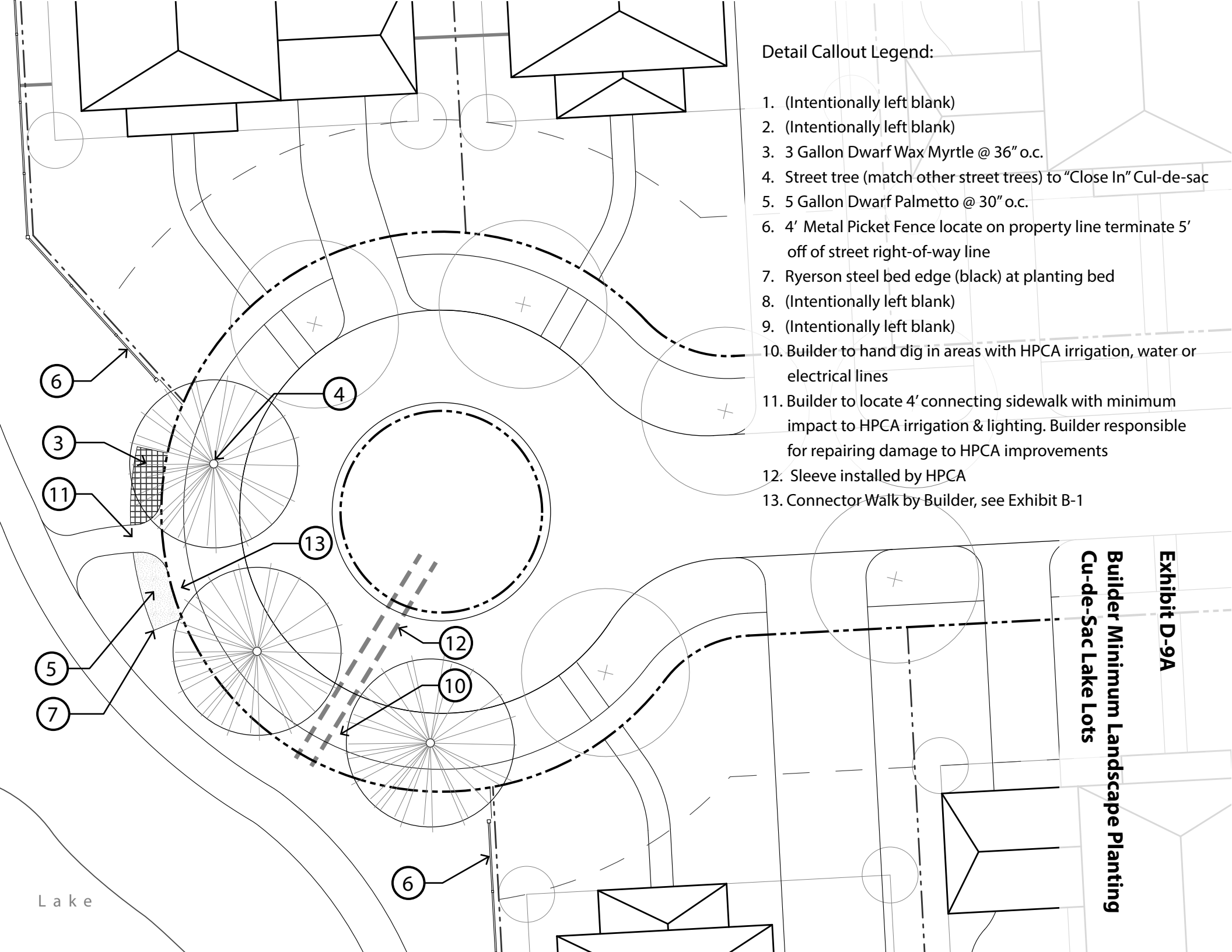
**ZONE A:**

TURF & TREES ONLY

\* For Metal Fence Screening requirements see Exhibit C-3A

\*For Corner Lot side yard reforestation details see exhibit C-4

\*\* For every 2 - 5 gallon plants required you can substitute 3 - 3 gallon Plants or a a mixture with the same ratio. Example: If you have 20 - 5 gallons required, you can use 30 - 3 gallons or 10 - 5 gallons with 15 - 3 gallons.



Detail Callout Legend:

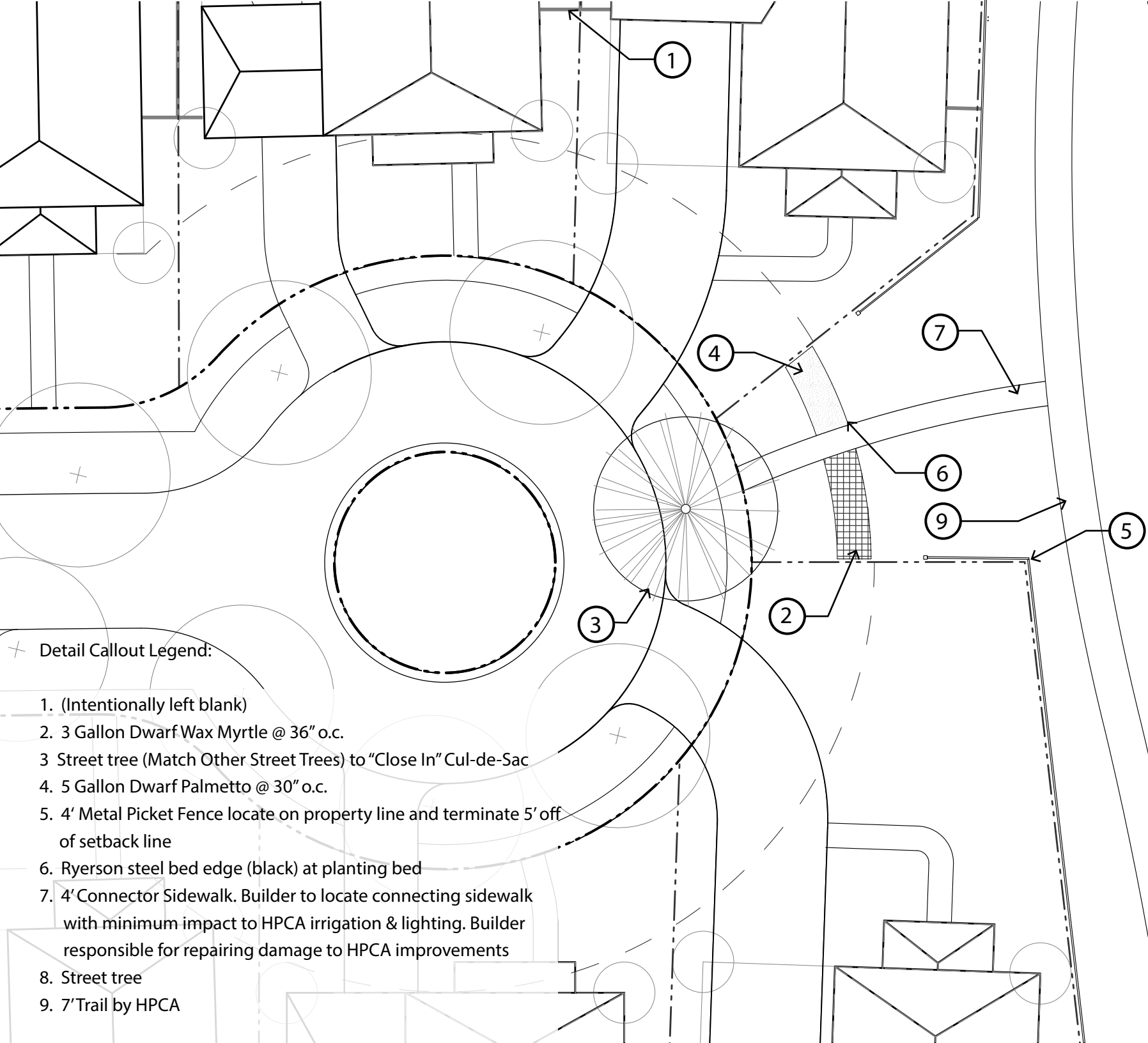
1. (Intentionally left blank)
2. (Intentionally left blank)
3. 3 Gallon Dwarf Wax Myrtle @ 36" o.c.
4. Street tree (match other street trees) to "Close In" Cul-de-sac
5. 5 Gallon Dwarf Palmetto @ 30" o.c.
6. 4' Metal Picket Fence locate on property line terminate 5' off of street right-of-way line
7. Ryerson steel bed edge (black) at planting bed
8. (Intentionally left blank)
9. (Intentionally left blank)
10. Builder to hand dig in areas with HPCA irrigation, water or electrical lines
11. Builder to locate 4' connecting sidewalk with minimum impact to HPCA irrigation & lighting. Builder responsible for repairing damage to HPCA improvements
12. Sleeve installed by HPCA
13. Connector Walk by Builder, see Exhibit B-1

**Exhibit D-9A**

**Builder Minimum Landscape Planting  
Cul-de-Sac Lake Lots**

L a k e

**Builder Minimum Landscape Planting  
Cu-de-Sac Harper's Trace Lots**

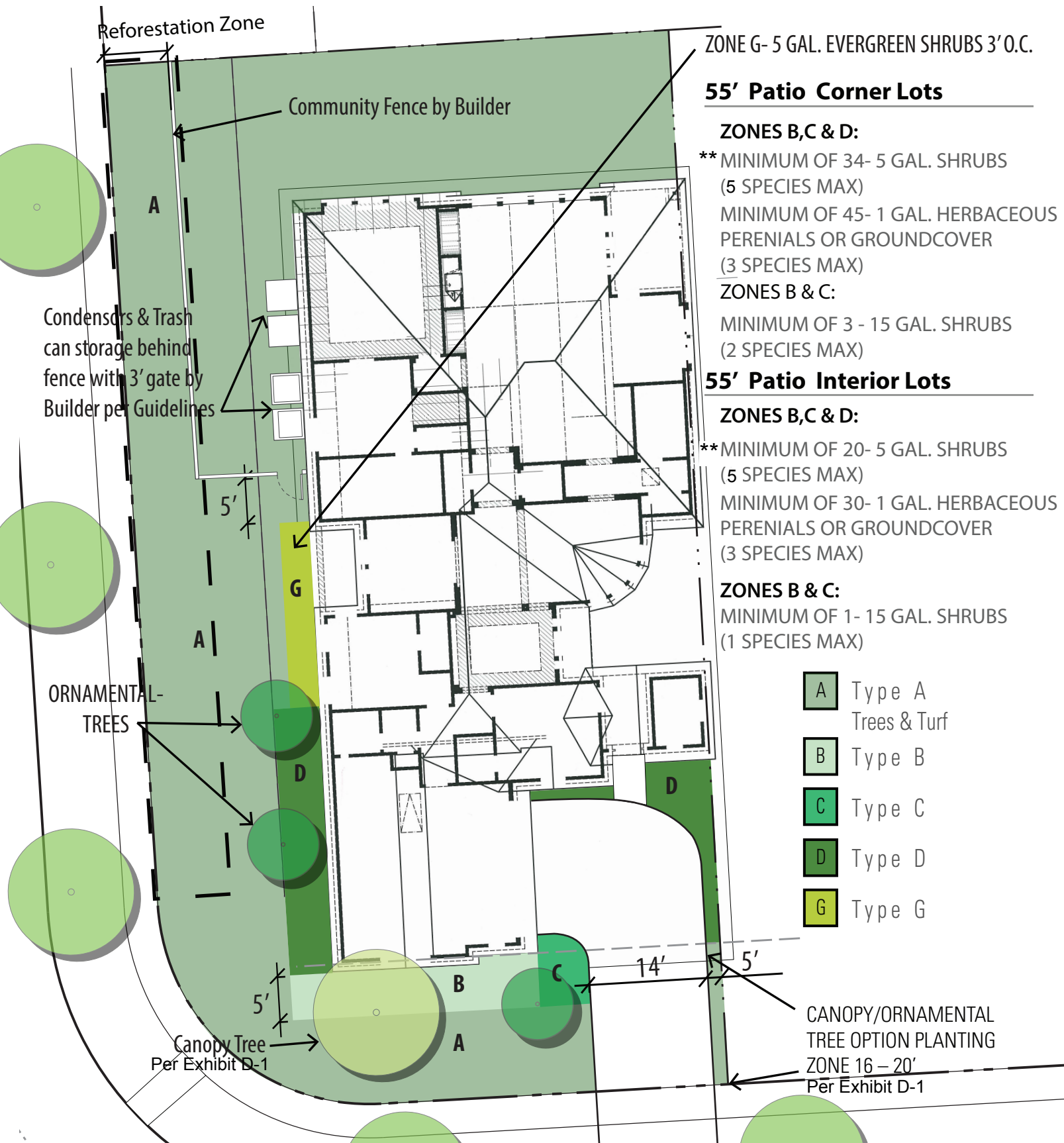


+ Detail Callout Legend:

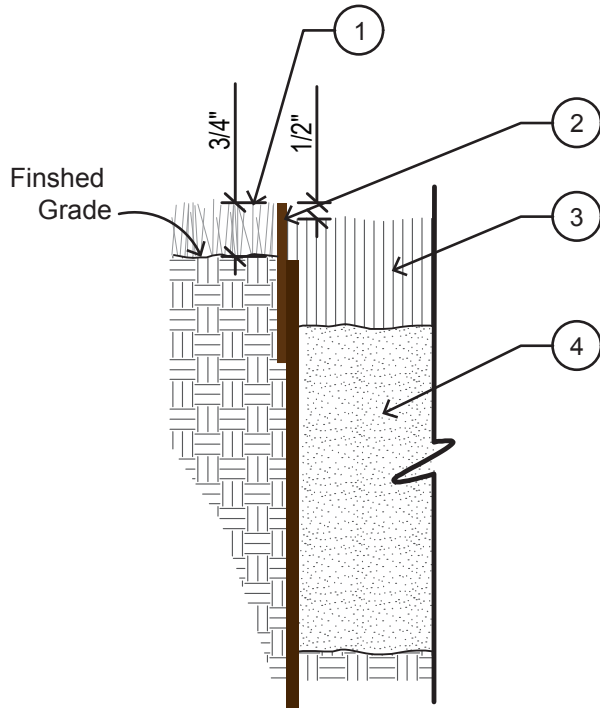
- 1. (Intentionally left blank)
- 2. 3 Gallon Dwarf Wax Myrtle @ 36" o.c.
- 3. Street tree (Match Other Street Trees) to "Close In" Cul-de-Sac
- 4. 5 Gallon Dwarf Palmetto @ 30" o.c.
- 5. 4' Metal Picket Fence locate on property line and terminate 5' off of setback line
- 6. Ryerson steel bed edge (black) at planting bed
- 7. 4' Connector Sidewalk. Builder to locate connecting sidewalk with minimum impact to HPCA irrigation & lighting. Builder responsible for repairing damage to HPCA improvements
- 8. Street tree
- 9. 7' Trail by HPCA

# Exhibit D-10

## Builder Minimum Landscape Planting - Patio Corner & Interior Lots



\* For Metal Fence Screening requirements see Exhibit C-3A  
 \*For Corner Lot side yard reforestation details see exhibit C-4  
 \*\* For every 2 - 5 gallon plants required you can substitute 3 - 3 gallon Plants or a mixture with the same ratio. Example: If you have 20 - 5 gallons required, you can use 30 - 3 gallons or 10 - 5 gallons with 15 - 3 gallons.



DETAIL CALLOUT LEGEND

1. Turf
2. 4" Tall steel edging, with 3/4" of steel edging to be above finished grade. Steel stakes to be 36" on center max on alternate sides.
3. 2" Shredded mulch
4. Prepared soil mix depth to be per planting details & Specifications.
5. Contractor shall place steel edging at all shrub beds adjacent to turf or gravel, unless otherwise noted on the plans.
6. Finish to be powder coated Color to be Brown.

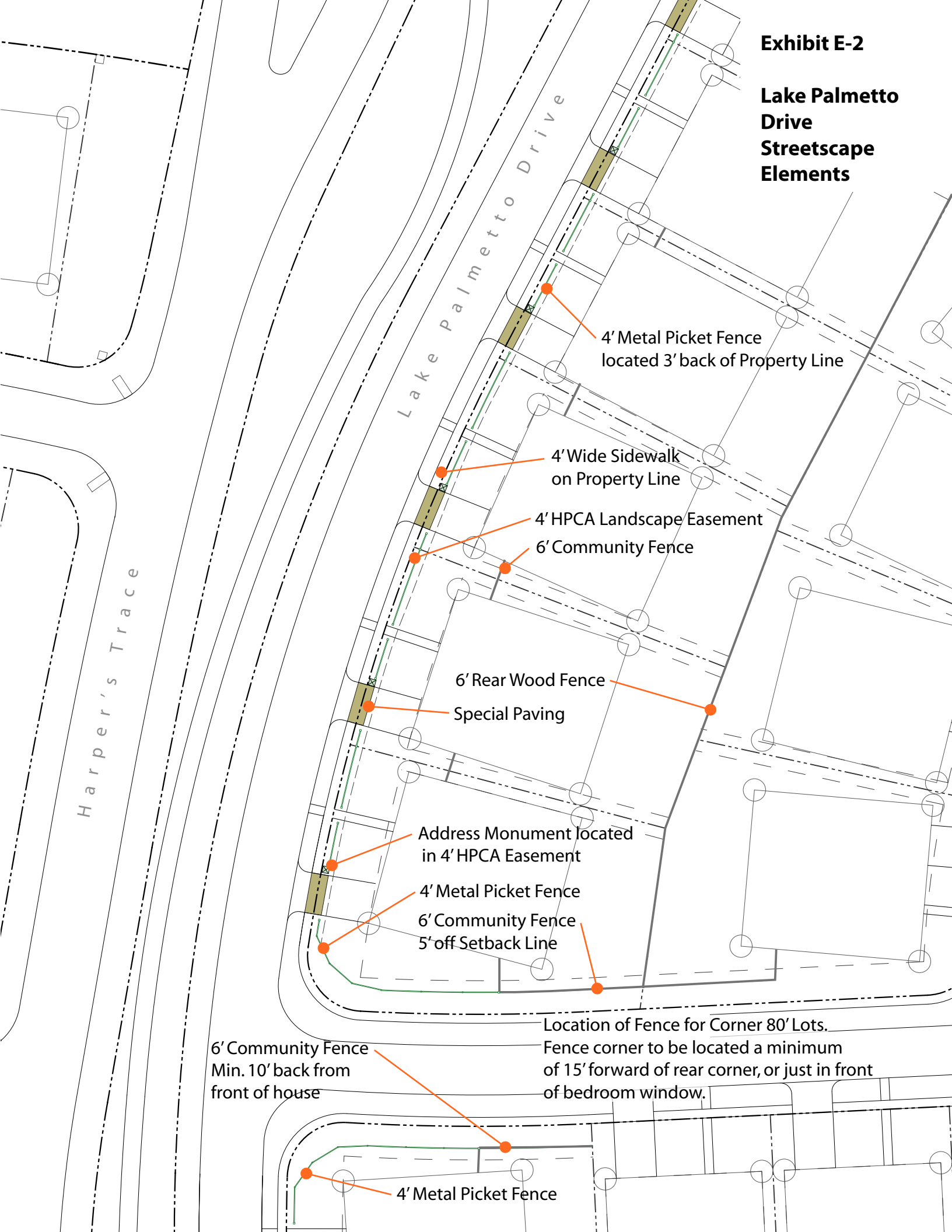


Steel Edging Detail

Not to Scale

**Exhibit E-2**

**Lake Palmetto Drive  
Streetscape  
Elements**



4' Metal Picket Fence  
located 3' back of Property Line

4' Wide Sidewalk  
on Property Line

4' HPCA Landscape Easement

6' Community Fence

6' Rear Wood Fence

Special Paving

Address Monument located  
in 4' HPCA Easement

4' Metal Picket Fence

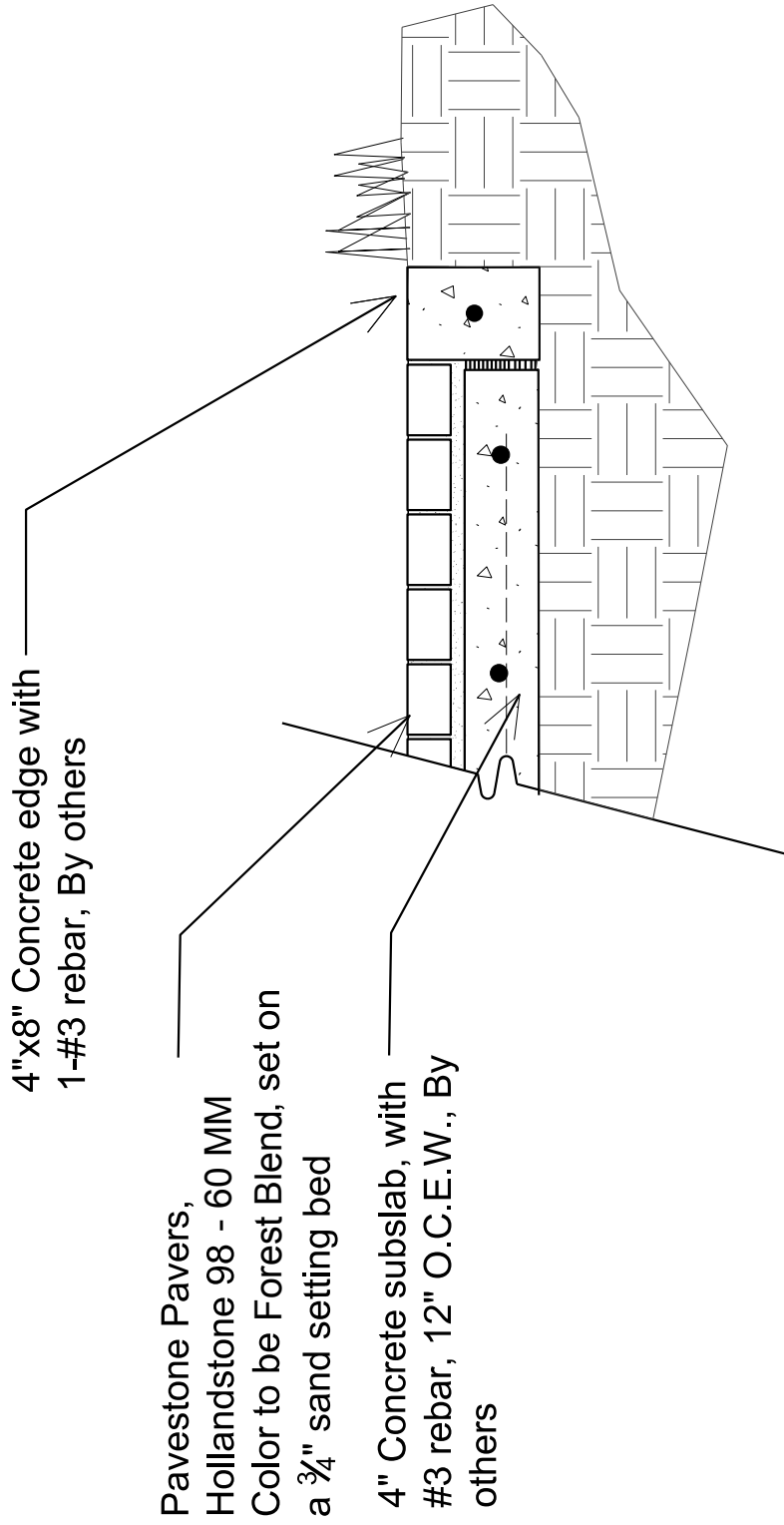
6' Community Fence  
5' off Setback Line

Location of Fence for Corner 80' Lots.  
Fence corner to be located a minimum  
of 15' forward of rear corner, or just in front  
of bedroom window.

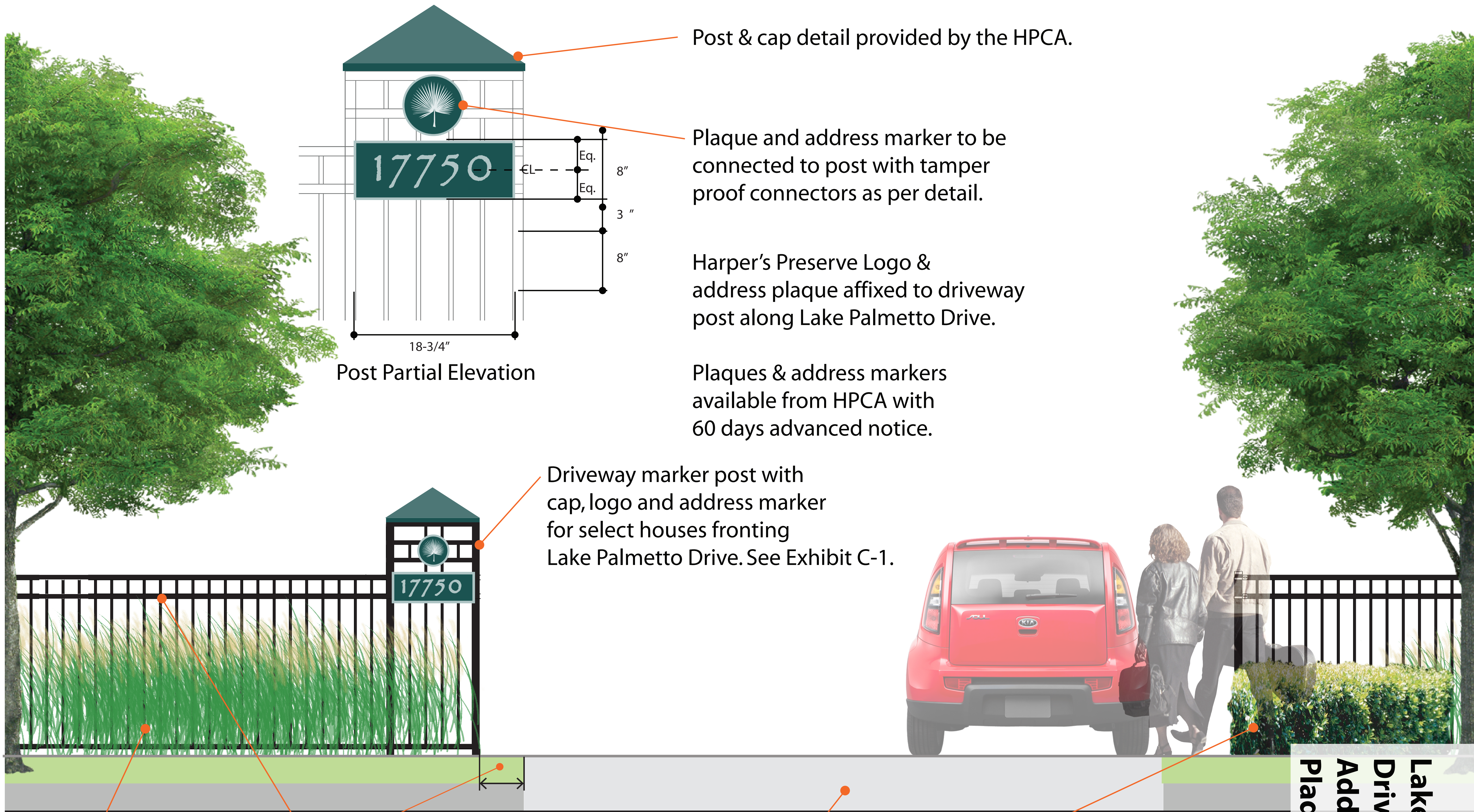
6' Community Fence  
Min. 10' back from  
front of house

4' Metal Picket Fence





○ SPECIAL PAVING IN DRIVEWAYS



Post & cap detail provided by the HPCA.

Plaque and address marker to be connected to post with tamper proof connectors as per detail.

Harper's Preserve Logo & address plaque affixed to driveway post along Lake Palmetto Drive.

Plaques & address markers available from HPCA with 60 days advanced notice.

Driveway marker post with cap, logo and address marker for select houses fronting Lake Palmetto Drive. See Exhibit C-1.

Gulf Coast Muhly Grass hedge.

Maintain 18" clear between edge of driveway and gate and post(s).

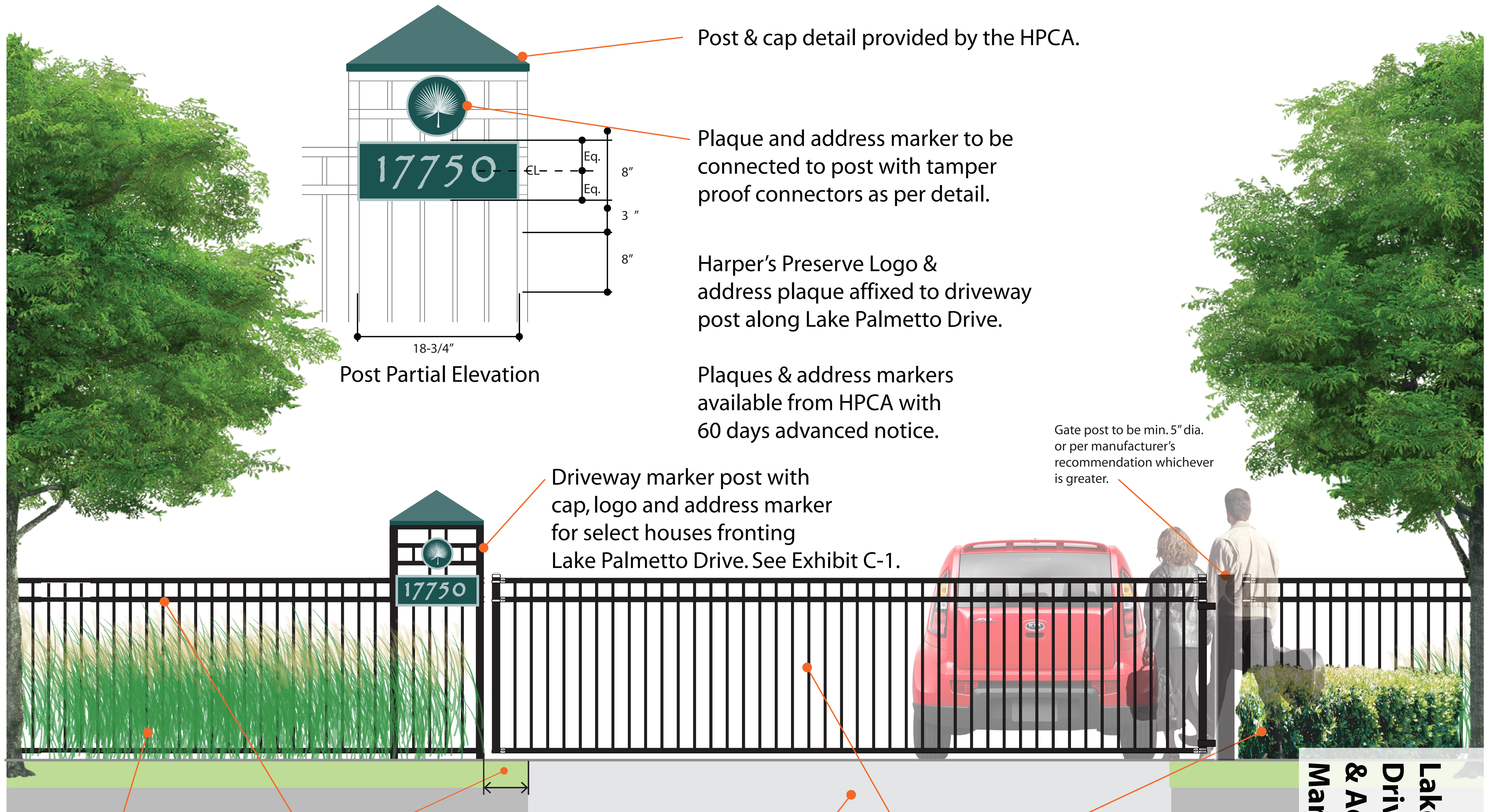
Maximum 14' wide driveway for houses fronting Lake Palmetto Drive.

4' High metal picket fence along frontage and partial sides of houses fronting Lake Palmetto Drive.

Dwarf Wax Myrtle hedge in front of fence to sideyard setback.

**Lake Palmetto Drive  
Driveway Post and  
Address Marker/Logo  
Plaque**

**Exhibit: E-4A**



Post & cap detail provided by the HPCA.

Plaque and address marker to be connected to post with tamper proof connectors as per detail.

Harper's Preserve Logo & address plaque affixed to driveway post along Lake Palmetto Drive.

Plaques & address markers available from HPCA with 60 days advanced notice.

Gate post to be min. 5" dia. or per manufacturer's recommendation whichever is greater.

Driveway marker post with cap, logo and address marker for select houses fronting Lake Palmetto Drive. See Exhibit C-1.

Post Partial Elevation

Maintain 18" clear between edge of driveway and gate and post(s).

Maximum 14' wide driveway for houses fronting Lake Palmetto Drive.

4' High metal picket fence along frontage and partial sides of houses fronting Lake Palmetto Drive.

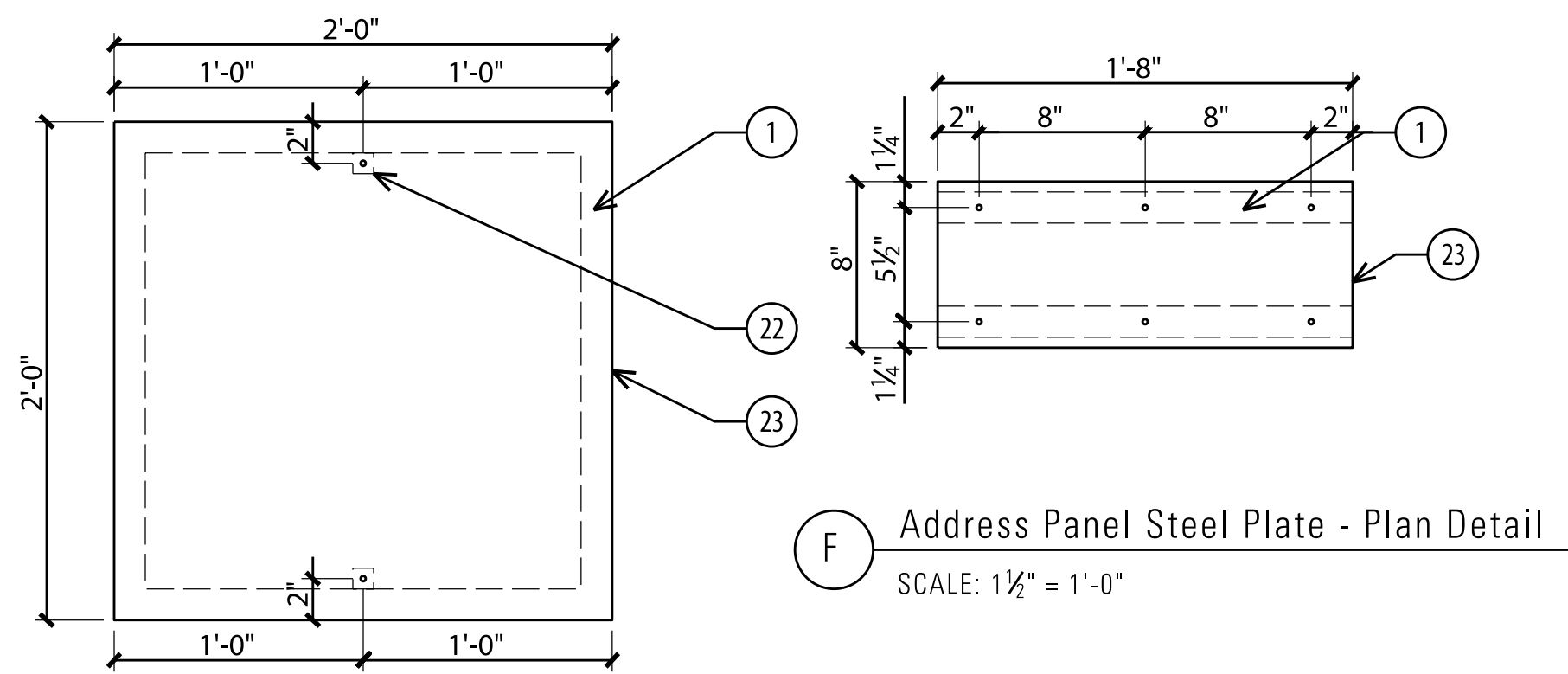
Dwarf Wax Myrtle hedge in front of fence to sideyard setback.

4' high x 16' wide "Ameristar" Vehicular Gate with 3/4" pickets for select houses. See Exhibit C-1.

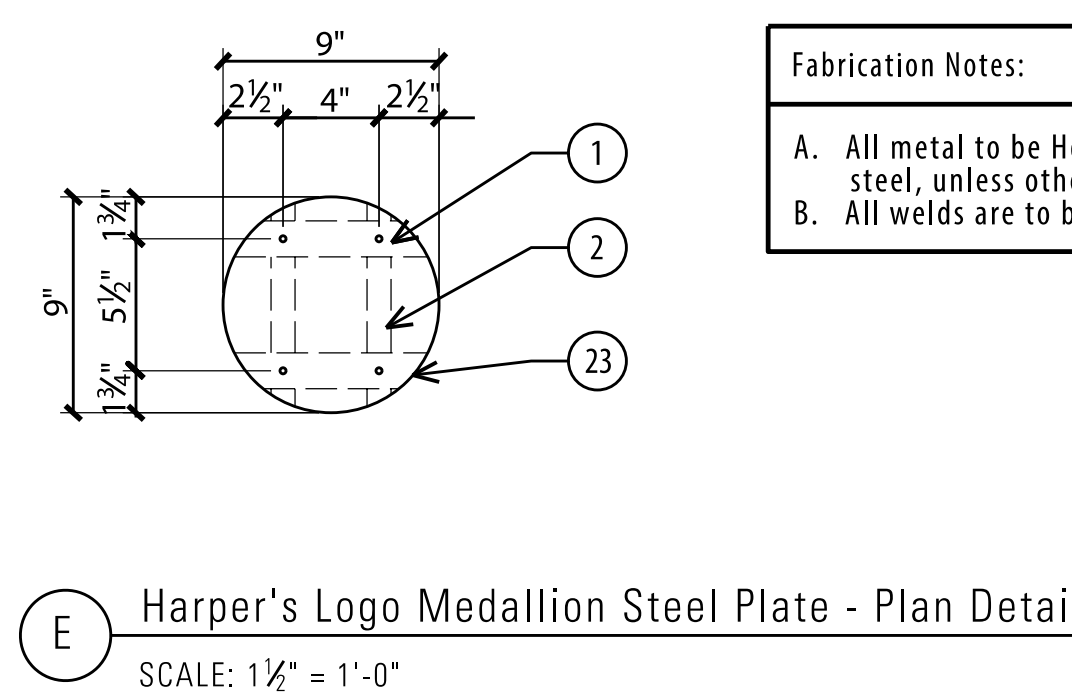
Gulf Coast Muhly Grass hedge.

**Lake Palmetto Drive  
Driveway Gate & Post  
& Address  
Marker/Logo Plaque**

**Exhibit: E-4B**

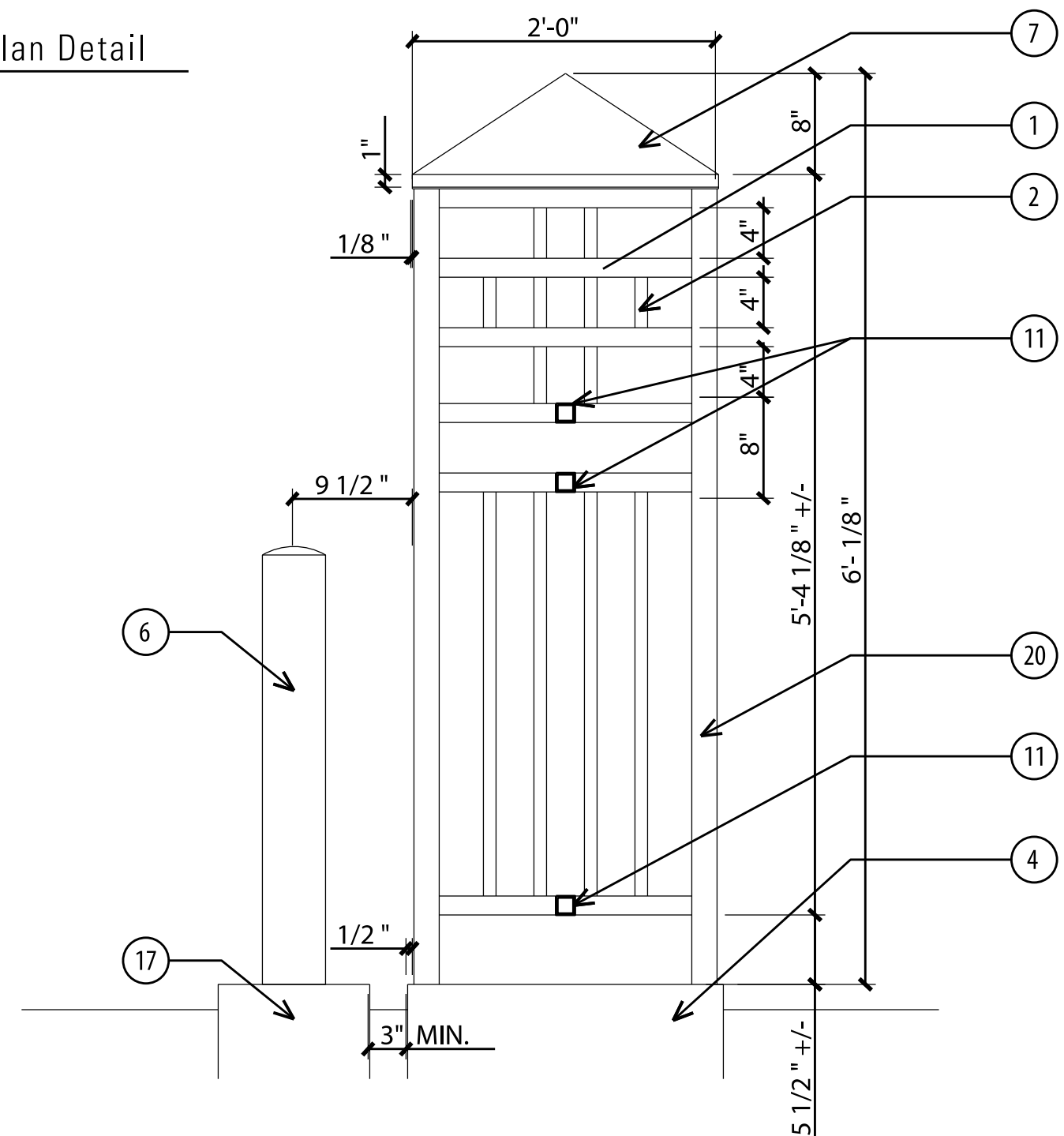


**F** Address Panel Steel Plate - Plan Detail  
SCALE: 1 1/2" = 1'-0"

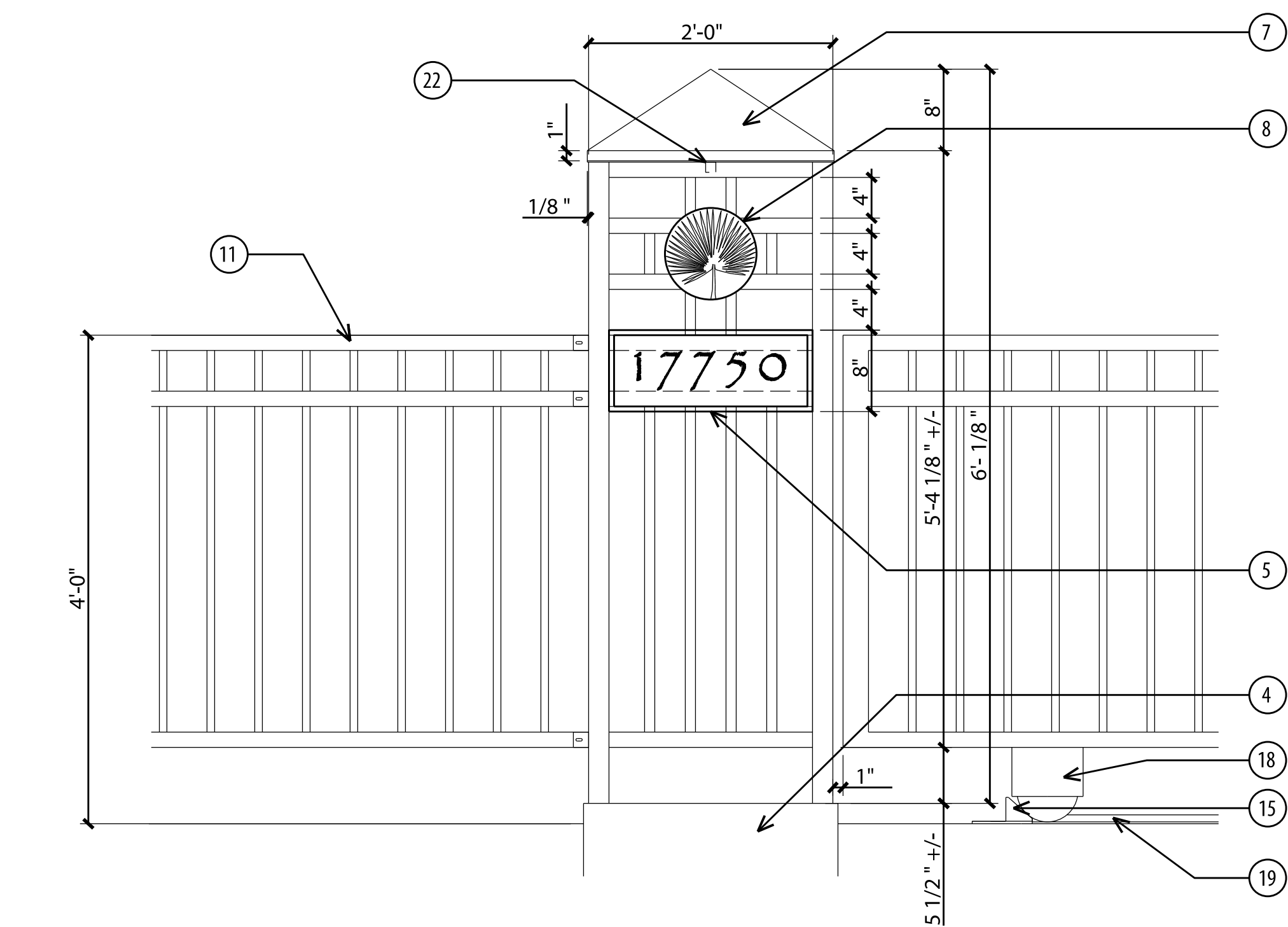


**E** Harper's Logo Medallion Steel Plate - Plan Detail  
SCALE: 1 1/2" = 1'-0"

**G** Column Cap Steel Plate - Plan Detail  
SCALE: 1 1/2" = 1'-0"



**D** Address Post- Side Elevation  
SCALE: 1" = 1'-0"

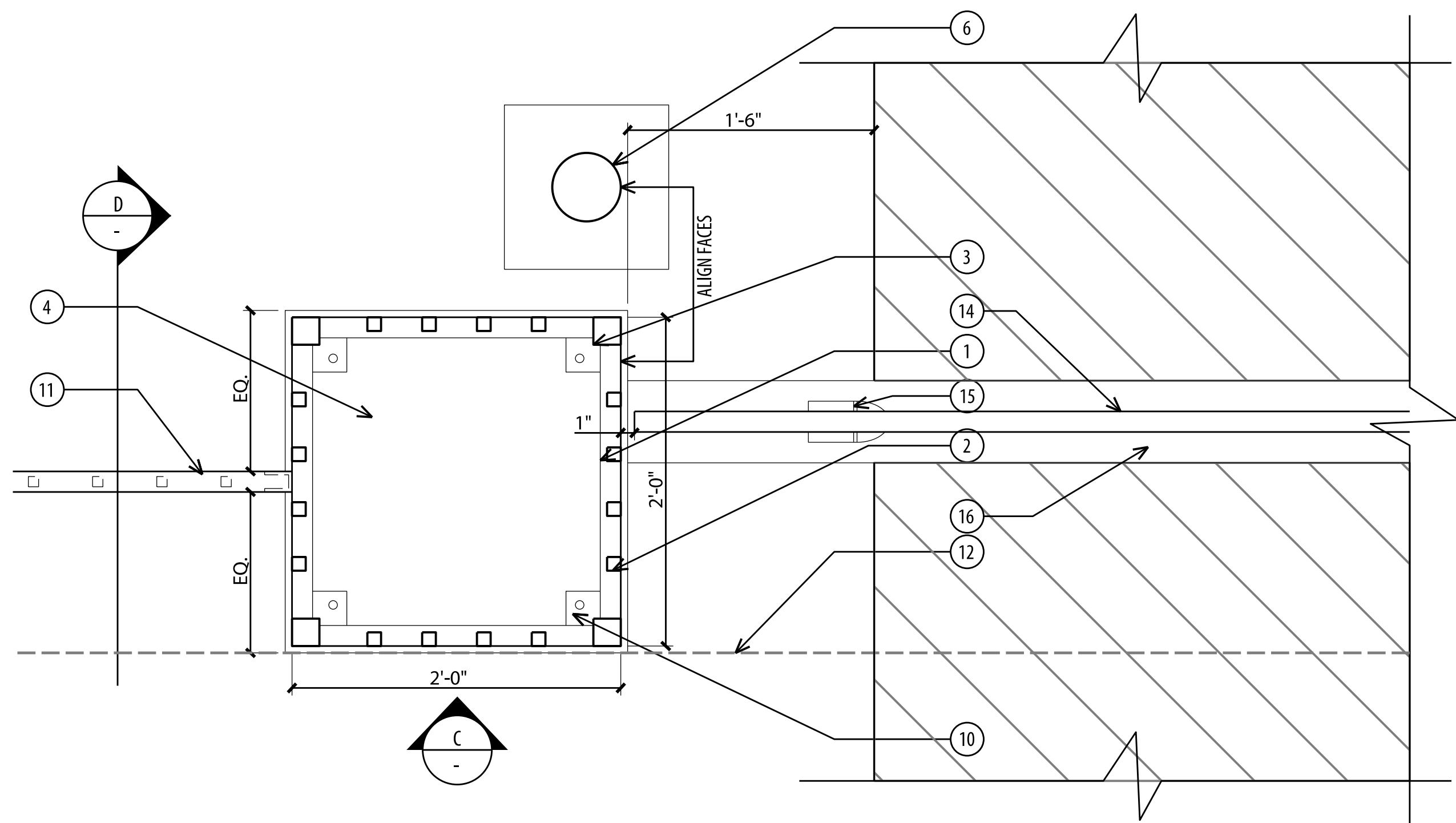


**C** Driveway Gate & Address Post- Front Elevation  
SCALE 1" = 1'-0"

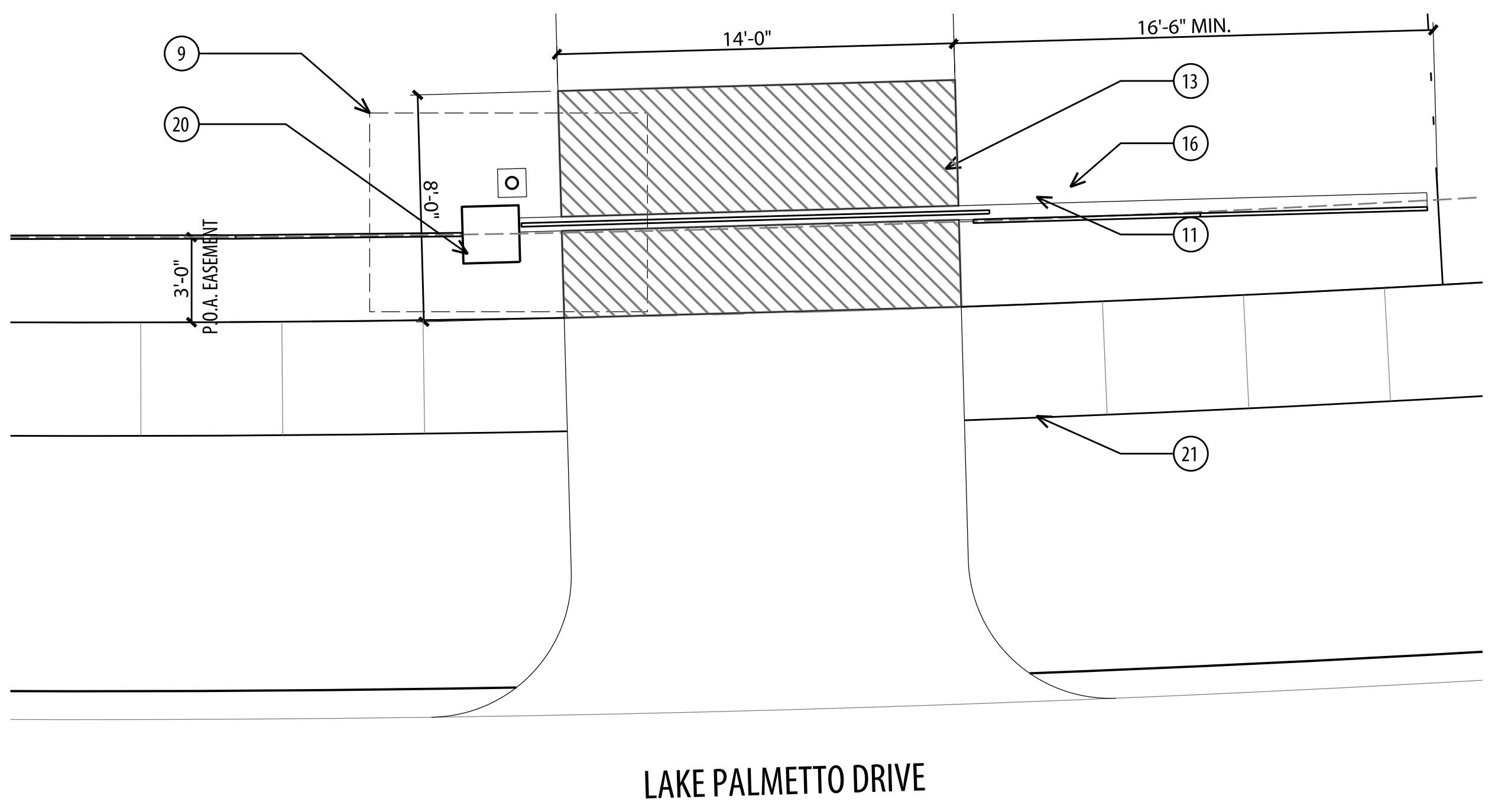
**Fabrication Notes:**  
A. All metal to be Hot Dipped Galvanized steel, unless otherwise noted  
B. All welds are to be full seam welds

**Detail Callout Legend (This Sheet):**

1. HSS 1 1/2"x1 1/2"x11ga. Galvanized Steel Tube
2. HSS 1"x1"x11ga. Galvanized Steel Tube
3. HSS 2"x2"x11ga. Galvanized Steel Tube
4. Reinforced concrete footing w/ 1/2" bolts fastening gate post to slab
5. EternaStone address panel epoxied to 10 Gauge galvanized steel plate. Steel plate to have threaded anchor studs welded to plate and thru-bolted to gate post frame (See Detail 'F' for Steel Plate Detail) (Font to be Papyrus (Spaced Per Elevation, Lettering cut out to be painted silver)
6. 5" Schedule 40 galvanized steel pipe filled with concrete and bolted to a reinforced concrete footing
7. EternaStone Column Cap epoxied to 10 Gauge galvanized steel plate. Steel plate to have threaded anchor studs welded to plate and thru-bolted to 1" angle clips front and back only. (See Detail 'G' for Steel Plate Detail) (Color to match 'Harper's Green' by EternaStone)
8. EternaStone Harper's Logo Medallion Artwork epoxied to a 9" diameter 10 Gauge galvanized steel plate. Steel plate to have threaded anchor studs welded to plate and thru-bolted to gate post frame (See Detail 'E' for Steel Plate Detail) (See Landscape Architect for artwork, Logo cut out to be painted silver)
9. See Enlarged Plan detail 'B'
10. Galvanized steel bolt plate welded to HSS2x2 posts
11. 4" Ameristar Majestic Montage Fence (Black)
12. Landscape Easement
13. Special paving
14. 4" Ameristar Majestic Montage sliding gate (Black)
15. Rail gate bumper stop
16. 6" Thick reinforced concrete track grade beam
17. Reinforced concrete footing, separate from gate post footing a minimum of 3"
18. 6" Gate wheel and housing of sliding gate
19. Galvanized steel V-track bolted to grade beam
20. Address Post (Black) Set rail stop so gate stops a minimum of 1" distance before address post
21. Sidewalk (By Builder)
22. L1"x1"x1/2" galvanized steel angle welded to interior upper frame of address marker, front and back. Fasten eternaStone cap to steel angles with lag screws
23. 10 Gauge Galvanized Steel plates with 1/2" Anchor Studs welded to back of plate



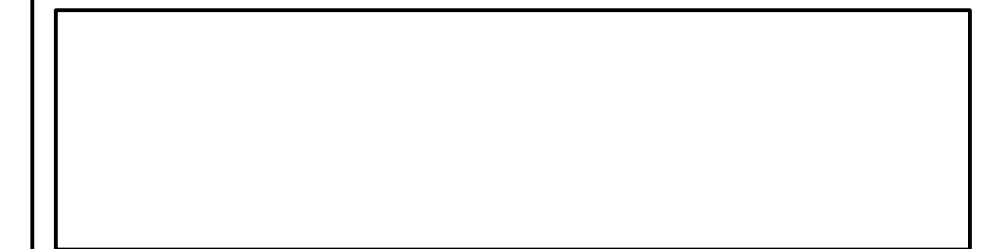
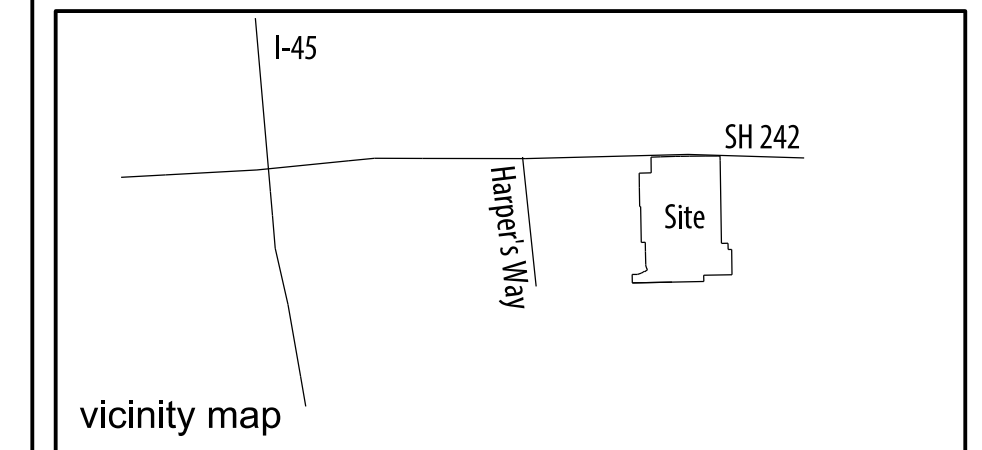
**B** Driveway Gate & Address Post- Enlarged Plan  
SCALE: 1 1/2" = 1'-0"



**A** Driveway Gate & Address Post- Plan  
SCALE 1/4" = 1'-0"

**Harper's Preserve East Village - Lake Palmetto Drive**

Harper's Preserve Community Association Inc.  
C/O Sam Yager Inc.  
1500 City West Blvd., Suite 400,  
Houston, Texas 77042  
713-783-0308



**SLA Studio • Land**

Land Planning • Landscape Architecture

1900 West Loop South, Studio 1900  
Houston, TX 77027  
P 713.787.0719  
F 713.787.5190

EternaStone:

Bill Sharrett  
14611 Ormond Court  
Houston, TX 77095  
Fax: (281) 856-6388  
Phone: (281) 856-7066

Drawn **BG**

Checked **RA**

Approved **DS**

JOB SYI-402

Date:	Remarks:
10/01/15	Revised Construction Details

Date 04/10/15

Sheet Title

Driveway Gate & Posts

Sheet Number

**CD-1.01**

CD

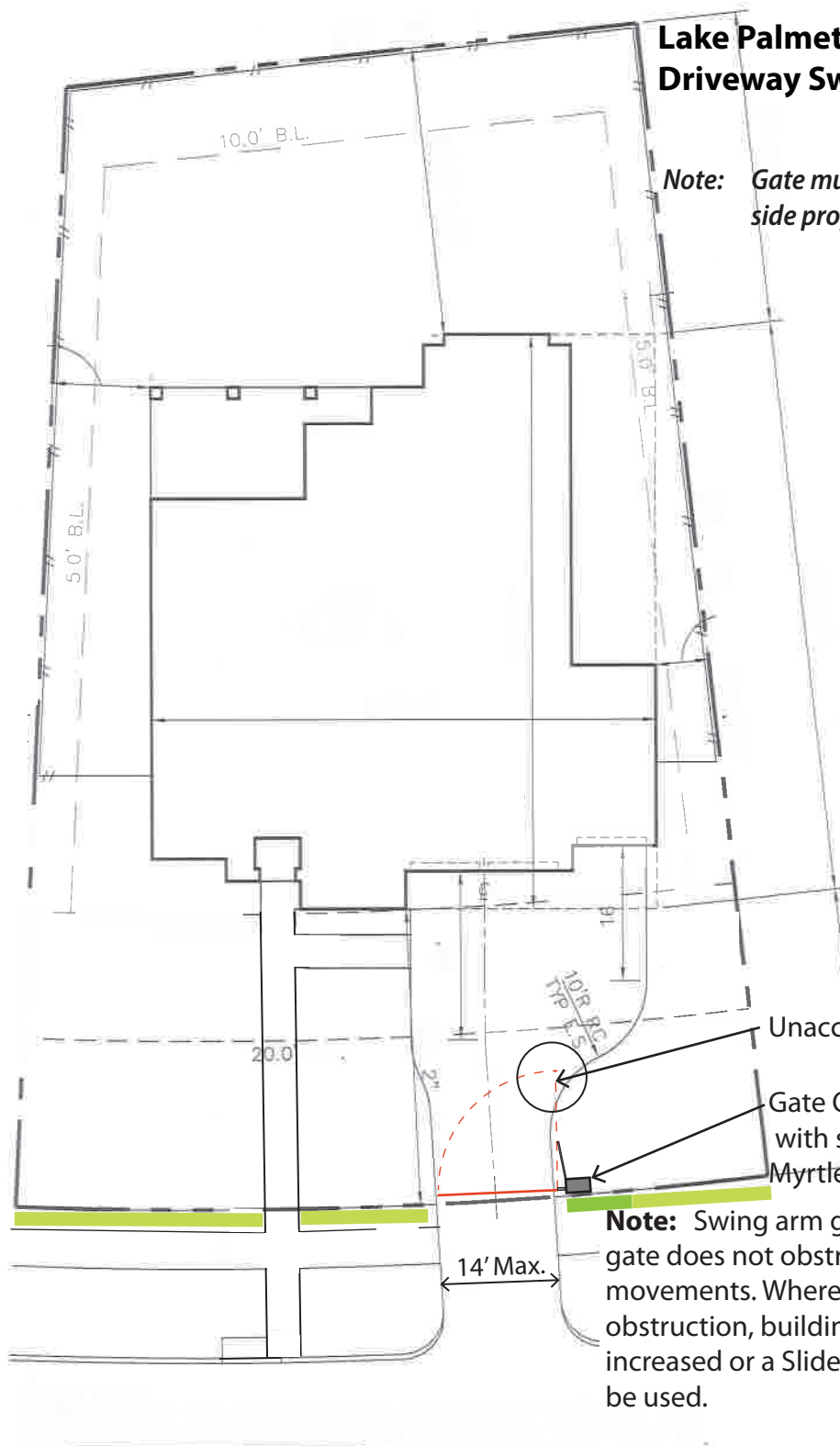
SUBMITTAL TYPE

FILE NAME

**Exhibit: E-4 D**



**Lake Palmetto Drive  
Driveway Swing Gate Option**

*Note: Gate must swing towards closest side property line*



**Note:** Swing arm gate acceptable where gate does not obstruct vehicle movements. Where gate would create obstruction, building setback must be increased or a Slide Gate Option must be used.

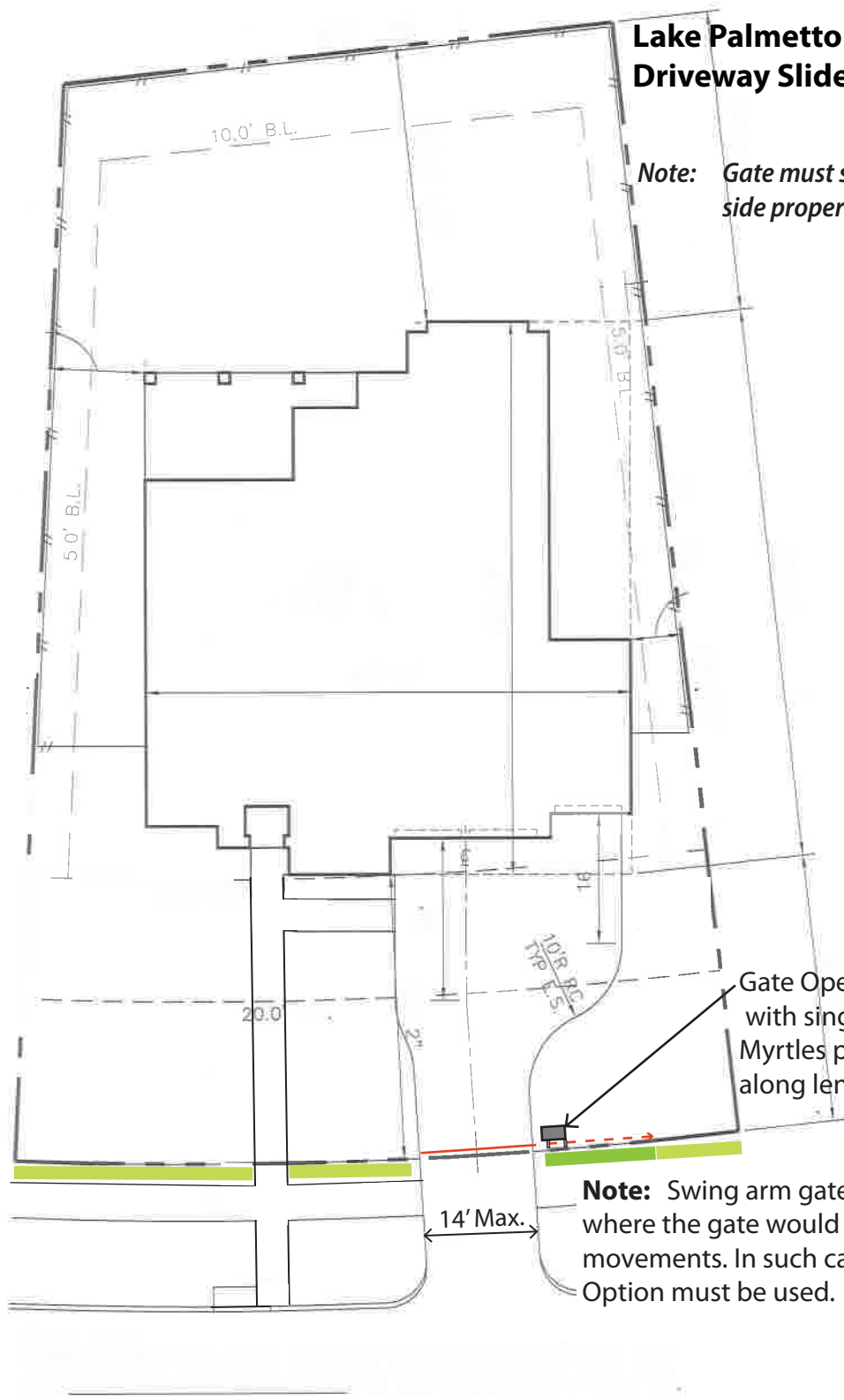
**Softscape Legend**

-  Gulf Coast Muhly Grass
-  Dwarf Wax Myrtle

**Exhibit: E-4 E**

**Lake Palmetto Drive  
Driveway Slide Gate Option**



*Note: Gate must slide towards closest side property line*



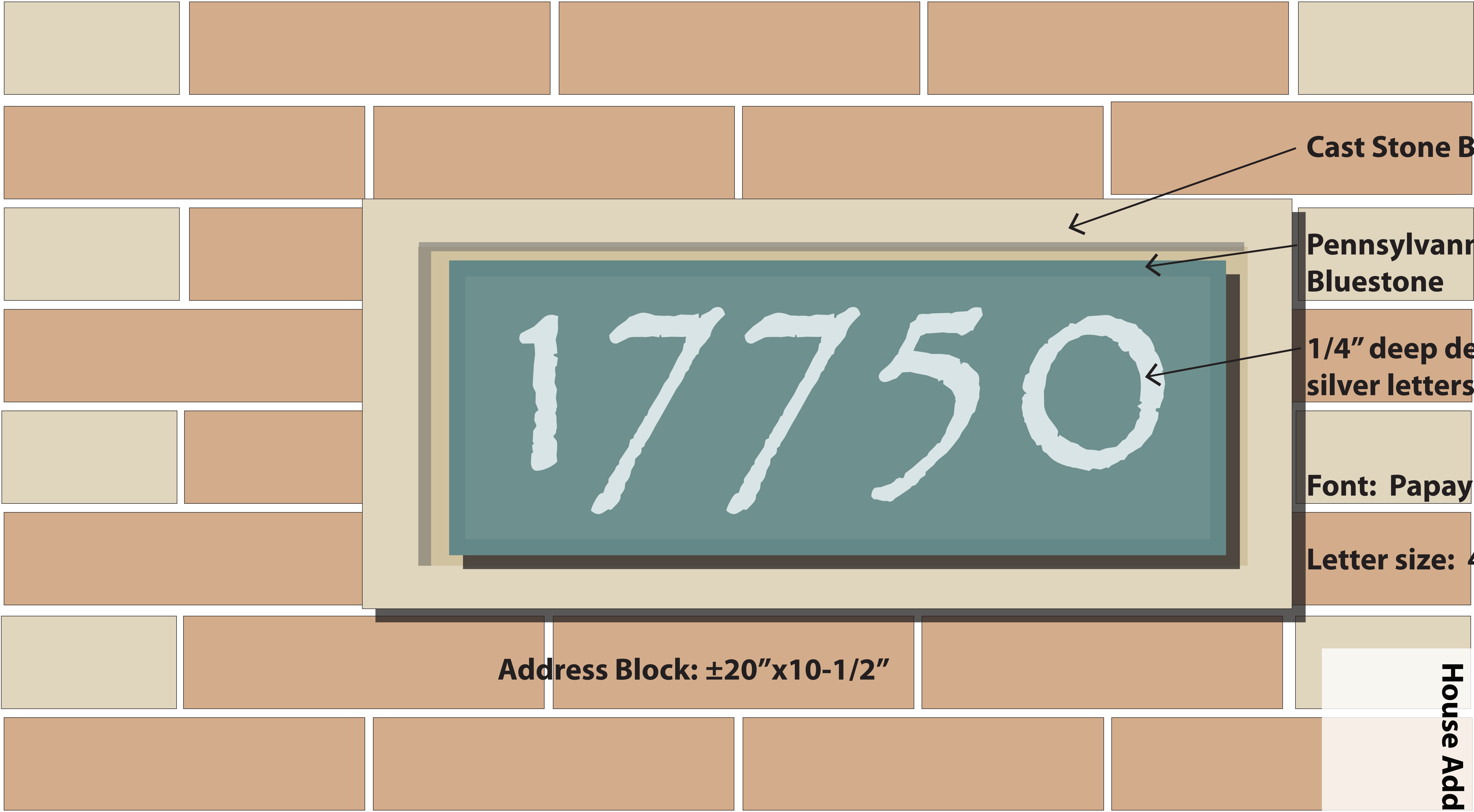
Gate Operator to be screened with single row of dwarf Wax Myrtles planted 30" O.C. along length of opened gate.

**Note:** Swing arm gate may not be used where the gate would obstruct vehicle movements. In such cases, a Slide Gate Option must be used.

**Softscape Legend**

-  Gulf Coast Muhly Grass
-  Dwarf Wax Myrtle

**Cast Stone Address Block**



**Cast Stone Block**

**Pennsylvania  
Bluestone**

**1/4" deep debossed  
silver letters**

**Font: Papayrus**

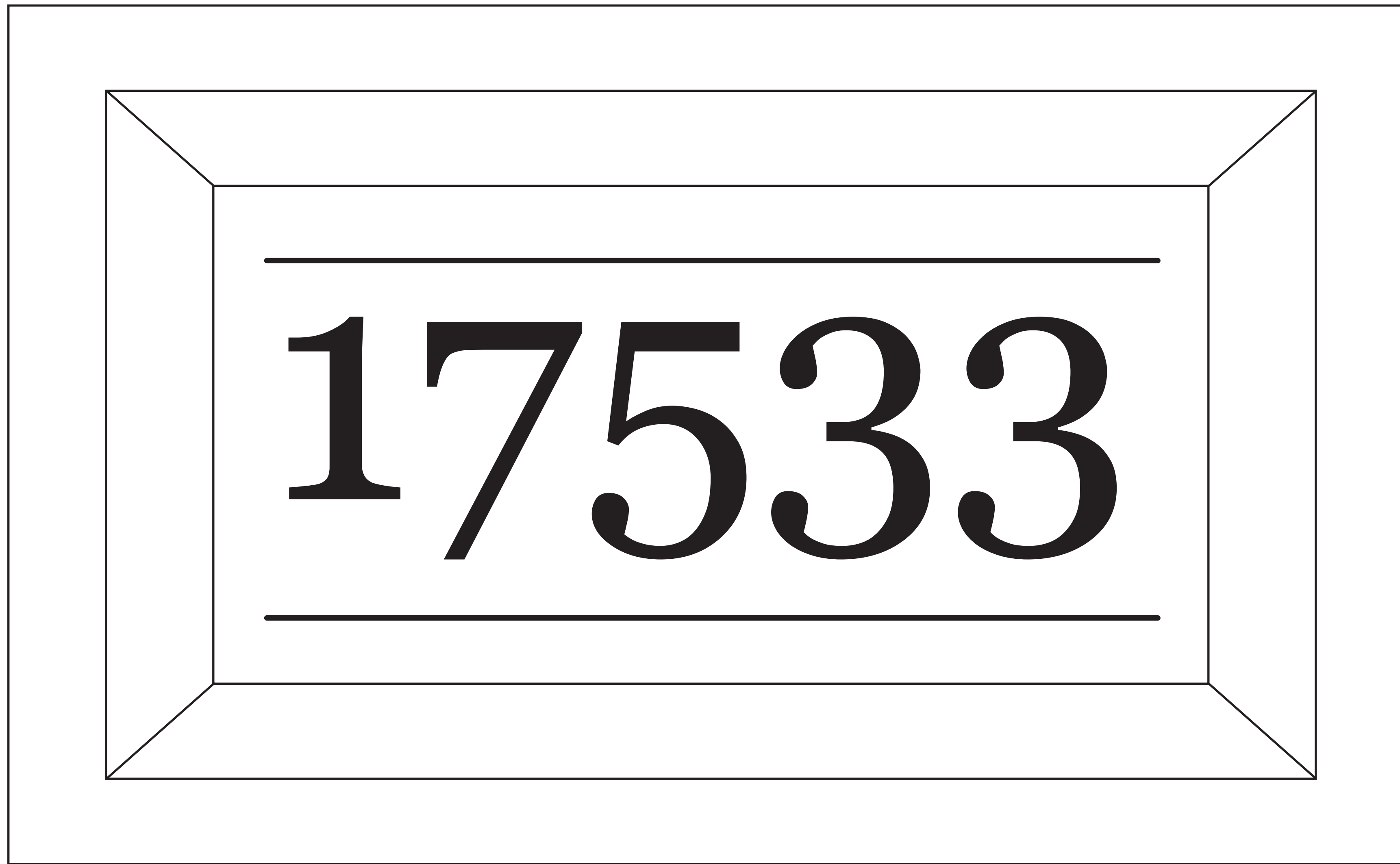
**Letter size: 4"**

**Address Block: ±20"x10-1/2"**

**House Address Block**

**Exhibit: E-4F**

**Exhibit E-4G**  
Cast Stone Address Block



ArkConcrete

Model ABSL

Color: "Oyster"

Text Font: "Georgia"

Text Size: 3"

SLA Studio Land

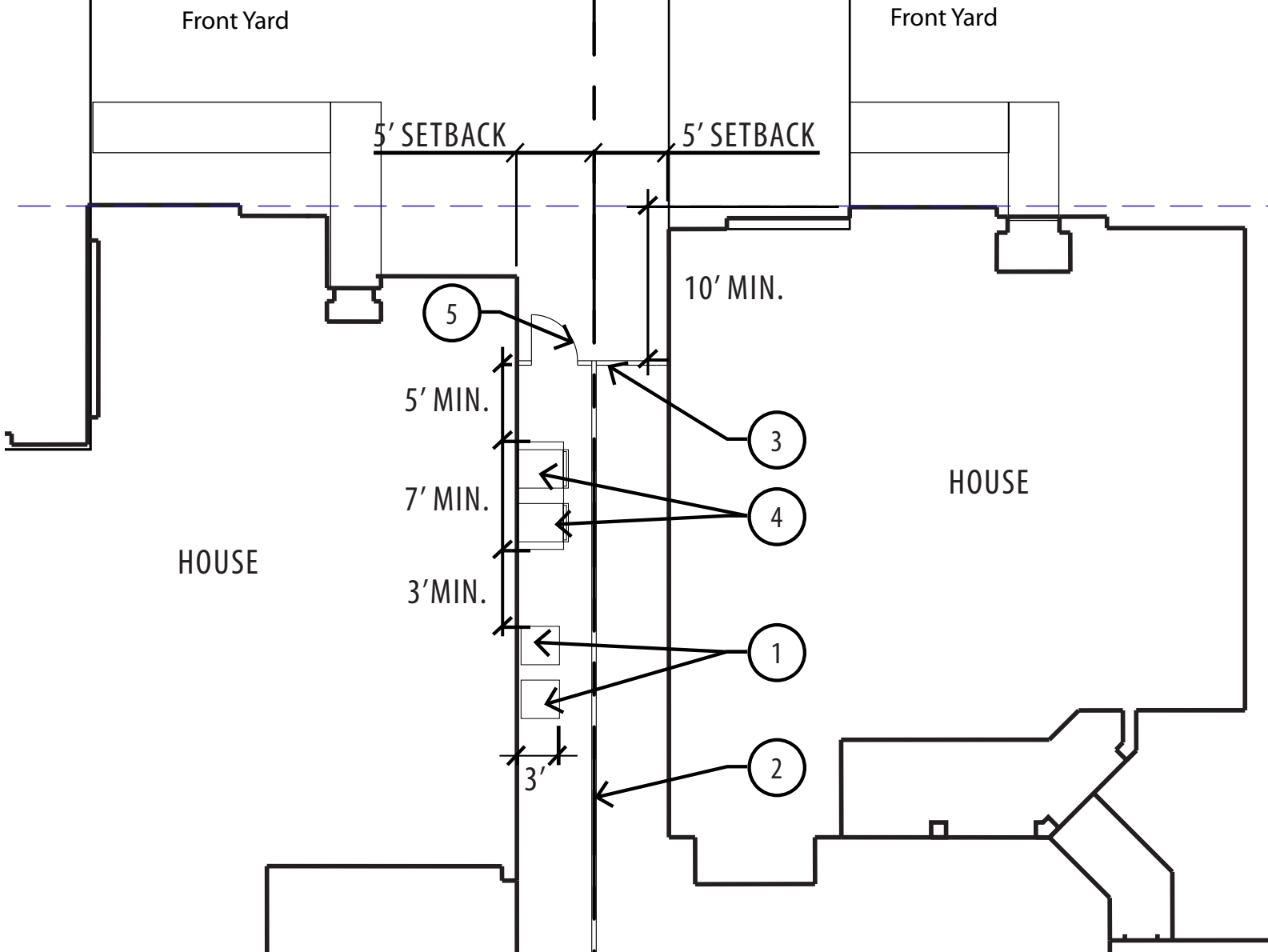
092016

Scale: Actual Size





# Exhibit E-7 Sideyard Trash Can Storage Requirement All Lots



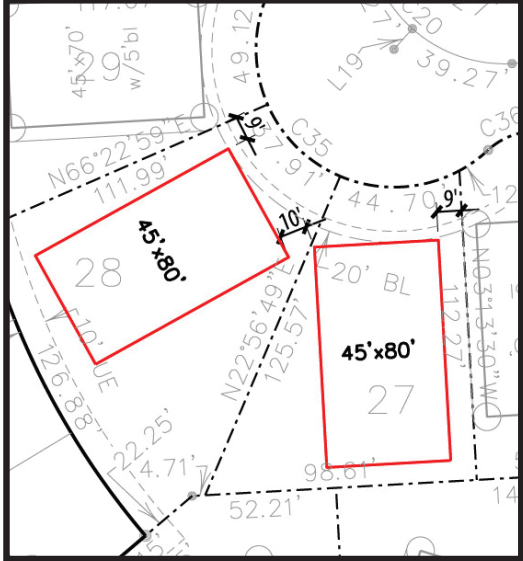
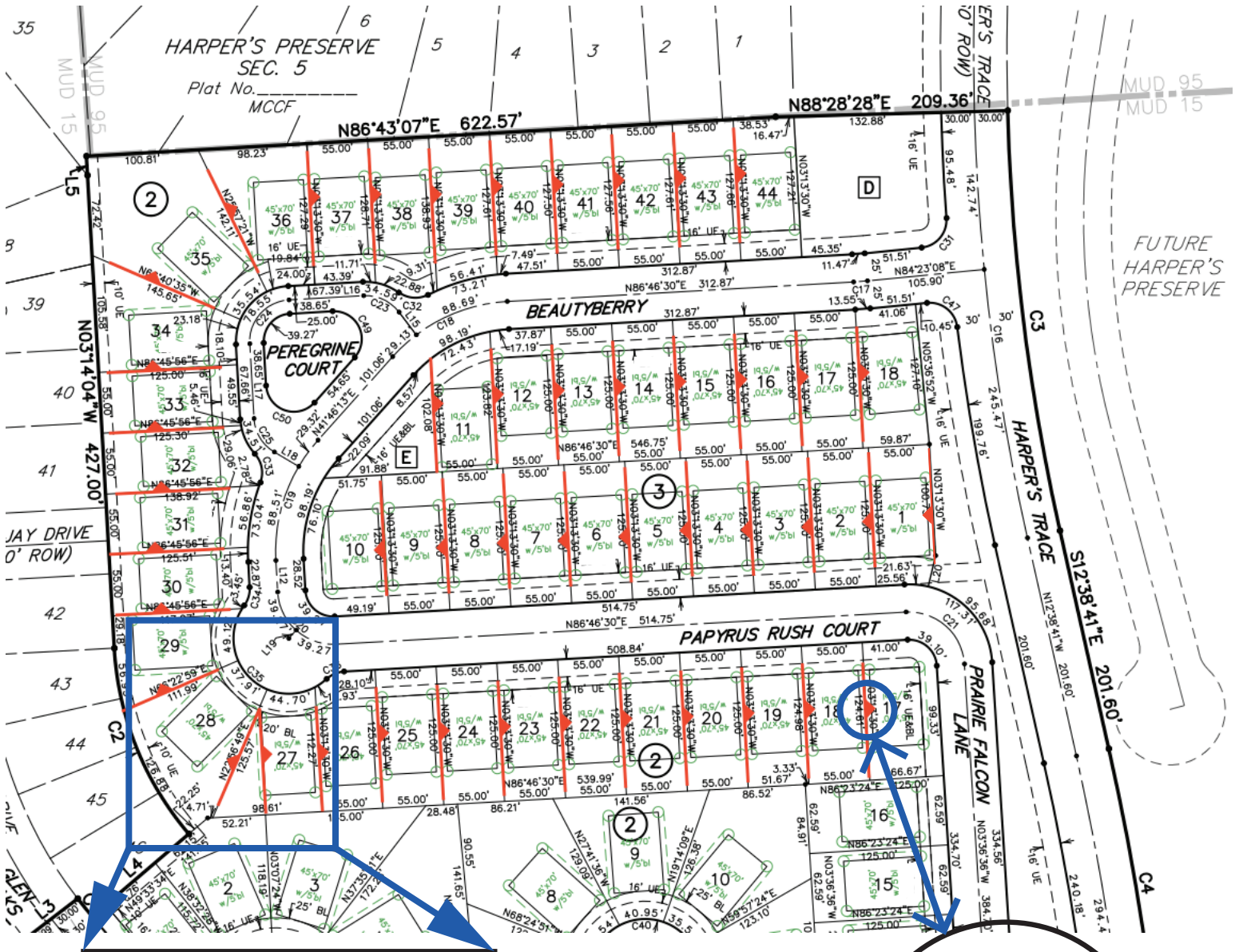
## Detail Callout Legend:

1. AC Condensors
2. Wood Fence by Builder
3. Community Fence by Builder
4. Garbage Can Slab by Builder
5. Gate by Builder. Hinge house side.

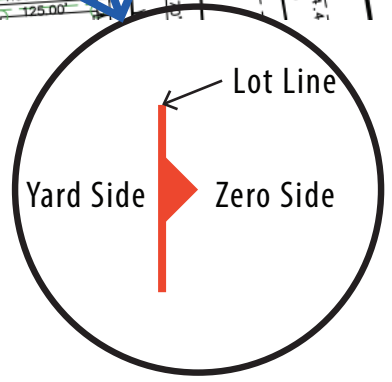
## Note:

1. All homes shall provide a concrete pad for trash and/or recycle can(s) on side of house with access gate. Cans are to be stored in this location at all times except on pick up day(s).
2. At homeowners option, cans may be stored inside garage however outdoor storage pad must be constructed per guidelines.

# Exhibit E-8 55' Patio Building Orientations



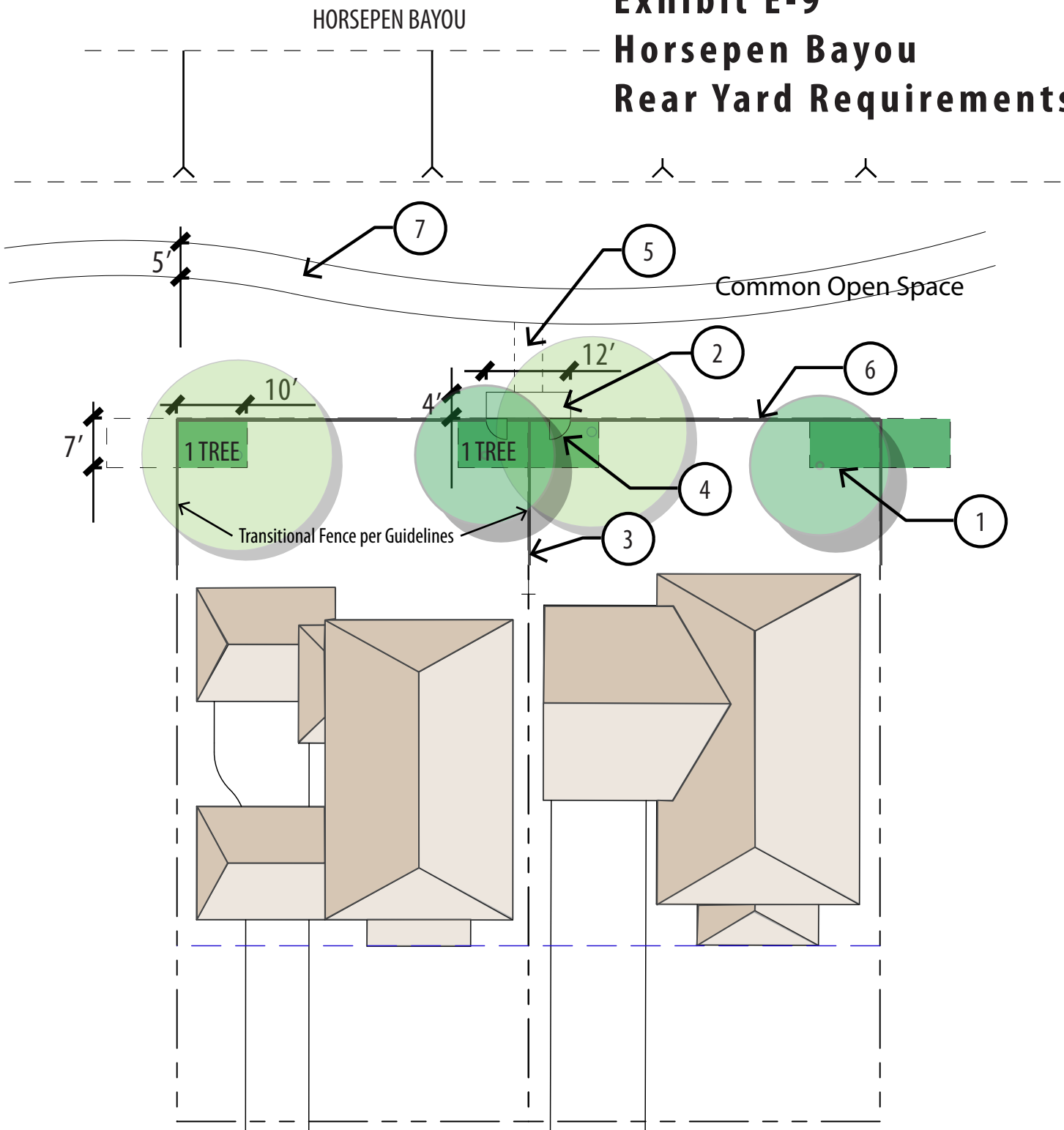
**NOTE:**  
All front building lines shall be not less than 20', unless otherwise approved by the NCC.  
Building pads depicted above are used to assist in demonstrating the zero side orientation impact of the home only.




**Detail Blowup:**  
Builder to adjust site layout to achieve required 10' building separations.

**Lot Orientation Diagram**  
Typical Lot

# Exhibit E-9 Horsepen Bayou Rear Yard Requirements



## Detail Callout Legend:

- |                                                                                                             |                                     |                                                                                                                     |
|-------------------------------------------------------------------------------------------------------------|-------------------------------------|---------------------------------------------------------------------------------------------------------------------|
| 1. Rear yard tree planting by Builder<br>(1 -30 Gal. Mexican Sycamore)<br>(1 -30 Gal. Loblolly Pine)        | 4. 3' Gate by Builder               |  Bayou Lot Rear Yard Tree Zone |
| 2. Gate, concrete step pad by Builder.<br>(Use sidewalk details. Set top of pad at ±1" above finish grade.) | 5. Optional connector walk          |                                                                                                                     |
| 3. Fence Transition per Guidelines                                                                          | 6. 4' Metal picket fence by Builder |                                                                                                                     |
|                                                                                                             | 7. 5' Trail By HPCA                 |                                                                                                                     |

**Exhibit E-10  
Special Masonry Plan**

To I-45  
←



**Exhibit Key**  
 ● 100% masonry on the front of the homes per the guidelines. Excluding gables, windows and doors.

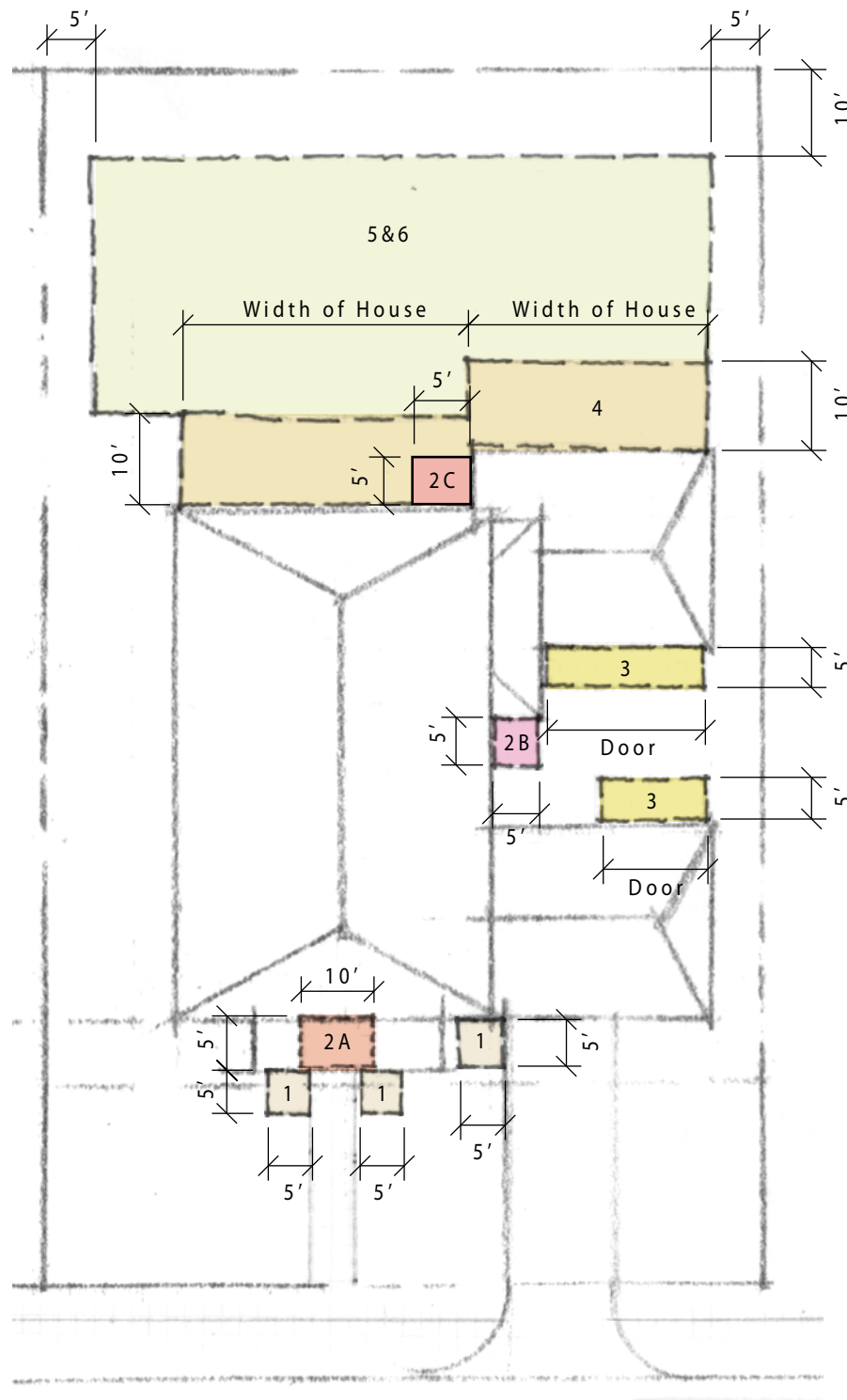
**Lotting Legend**

Lot Size	No. Of Lots		
	Phase I	Future	Total
80'	29	49	78
75'	66	65	131
65'	40	115	155
55'	80	54	134
<b>Total</b>	<b>215</b>	<b>283</b>	<b>498</b>

Total No. Of Lots

This information represents an artist's rendering of some of the proposed elements of the Harper's Preserve Community. The Developer in its sole discretion and without any advance notice reserves the right to change this rendering and change any or all of the elements contained herein. Elements depicted may or may not be constructed and/or may not be constructed as shown. The particular timing or sequence of the construction of any element depicted is not represented herein. All information being provided by the Developer, including this artist's rendering, is without any warranty (express or implied) or any representation for any purpose including but not limited to accuracy, completeness or suitability.





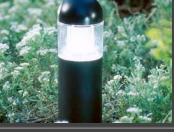
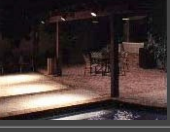

**Exhibit:G-1  
Lighting Zones  
Permitted**



# Lighting Zones - Permitted

NTS

- |                                                                        |                                                                                |
|------------------------------------------------------------------------|--------------------------------------------------------------------------------|
| <span style="border: 1px solid black; padding: 2px;">1</span> Zone 1   | <span style="border: 1px solid black; padding: 2px;">3</span> Zone 3           |
| <span style="border: 1px solid black; padding: 2px;">2A</span> Zone 2A | <span style="border: 1px solid black; padding: 2px;">4</span> Zone 4           |
| <span style="border: 1px solid black; padding: 2px;">2B</span> Zone 2B | <span style="border: 1px solid black; padding: 2px;">5&amp;6</span> Zone 5 & 6 |
| <span style="border: 1px solid black; padding: 2px;">2C</span> Zone 2C |                                                                                |

Permitted Lighting Fixture Types by Lighting Zones								
Type	Example Light Types Permitted							
	Path Light	Soffit Light, Can	Sconce	Uplights	Bollard light	Down light, Can	Underwater	
Max. Mounting Height by Fixture Type	30"	10'	9'	18-24"	42"	10'	N.A.	
								
1	Front Entry walk & Driveway	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	a Front Entry door	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	b Side entry door	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	c Rear entry door	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Garage door(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Rear landscape	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Deck & pool	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6	Accessory structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Notes:	1 All lighting shall be shielded to prevent spill over into adjoining property or public right-of-way 2 The maximum footcandle level at a property line shall not exceed .25 footcandles 3 Uplighting permitted in the rear yards shall illuminate the rear elevation of the home and landscape within the zone. No glare or spillover shall be permitted. 4 The fixtures illustrated above are shown to illustrate the types of lights permitted, not the manufacturer, model or color/finishes required or permitted.							

Lighting Fixtures Permitted

Exhibit G-2

**Specifications**

**Frame 3/4" Angle Stake**  
 Material: Steel  
 PMS: Black

**Panel 2'x3'**  
 Material: .063 Aluminum  
 PMS: Green 7484 PC  
 Yellow 7499 PC  
 Orange 180 PC

**Harper's Preserve Logotype:**  
 PMS: White  
 Font: Papayrus Condensed  
 Size: 2" Tall

**Harper's Palm Logo**  
 PMS: 7484 PC @ 25%

**Builder's Logo 14" X 22" Max.**  
 PMS: Green 7484 PC

**Builder's Phone Number:**  
 PMS: Orange 180 PC  
 Font: Adobe Caslon Pro, Bold  
 Size: 2"

**Sign Message: 4" x 22"**  
 PMS Letters: White  
 PMS Panel: Green 7484 PC  
 Font: Adobe Caslon Pro, Bold  
 Size: 3"

**Scale: 2"=1'-0"**



**Specifications**

**Frame 3/4" Angle Stake**  
 Material: Steel  
 PMS: Black

**Panel 2'x3'**  
 Material: Sheet Metal  
 PMS: Green 7484 PC  
 Yellow 7499 PC  
 Orange 180 PC

**Harper's Preserve Logotype:**  
 PMS: White  
 Font: Papayrus Condensed  
 Size: 2" Tall

**Harper's Palm Logo**  
 PMS: 5585 PC

**Builder's Logo 14" X 22" Max.**  
 PMS:

**Builder's Phone Number:**  
 PMS: Orange 180 PC  
 Font: Adobe Caslon Pro, Bold  
 Size: 2"

**Sign Message: 4" x 22"**  
 Material: Magnetic Panel  
 PMS: White  
 Green 7484 PC  
 Font: Adobe Caslon Pro, Bold  
 Size: 3"

**Scale: 2"=1'-0"**



Exhibit: H-2  
Weekend Directional Sign

**Specifications**



**Support 3/4" Angle Stake**  
Material: Steel  
PMS: Black

**Panel 18" x 24"**  
Material: Corex  
PMS: Green 7484 PC  
Yellow 7499 PC  
Orange 180 PC

**Harper's Preserve Logotype:**  
PMS: White  
Font: Papayrus Condensed  
Size: 3" Tall

**Harper's Palm Logo**  
PMS: 7484 PC @ 25%

**Builder's Logo 10-1/5" X 15" Max.**  
PMS: 7484 PC

**Sign Arrow:**  
PMS: White  
Size: 5-1/2" Long

**Scale: 2"=1'-0"**

Exhibit:H-3  
Builder "Open" Sign

---

**Specifications**

**Support**            **3/4" Angle Stake**  
Material:            Steel  
PMS:                 Black

**Panel**    **18" x 12"**  
Material:            Corex  
PMS:                 Green 7484 PC  
                           Yellow 7499 PC  
                           Orange 180 PC

**Harper's Preserve Logotype:**  
PMS:                 White  
Font:                 Papayrus Condensed  
Size:                 3" Tall

**Sign Message:**        **4" x 22"**  
  
PMS:                 Green 7484 PC  
                           Yellow 7499 PC  
                           Orange 180 PC  
Font:                 Adobe Caslon Pro, Bold  
Size:                 3"



**Scale: 2"=1'-0"**

**Exhibit H-4**

**BUILDER IDENTIFICATION SIGN**

**Specifications**

<b>Support</b>	<b>4" Square Posts</b>
Material:	16 Ga. Steel Tube
PMS:	7484 PC

<b>Panel</b>	<b>4' x 6'x6mm</b>
Material:	6 mm Dibond
PMS:	Yellow 7499 PC
Stripe:	3/4"
PMS:	180 PC

<b>Builder's Logo:</b>	
Max. Size:	12" Tall x 55" Wide
PMS:	7484 PC or as otherwise approved
Copy:	3.5" tall Color 7484 PC

<b>Palmetto Logo</b>	
PMS:	7484 PC @ 25%

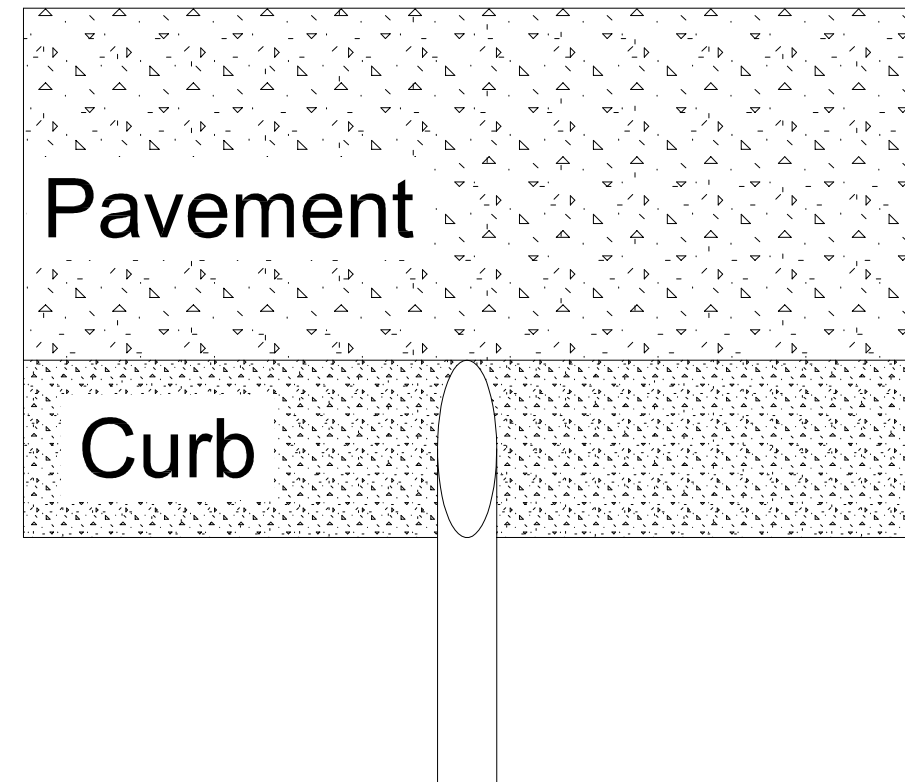
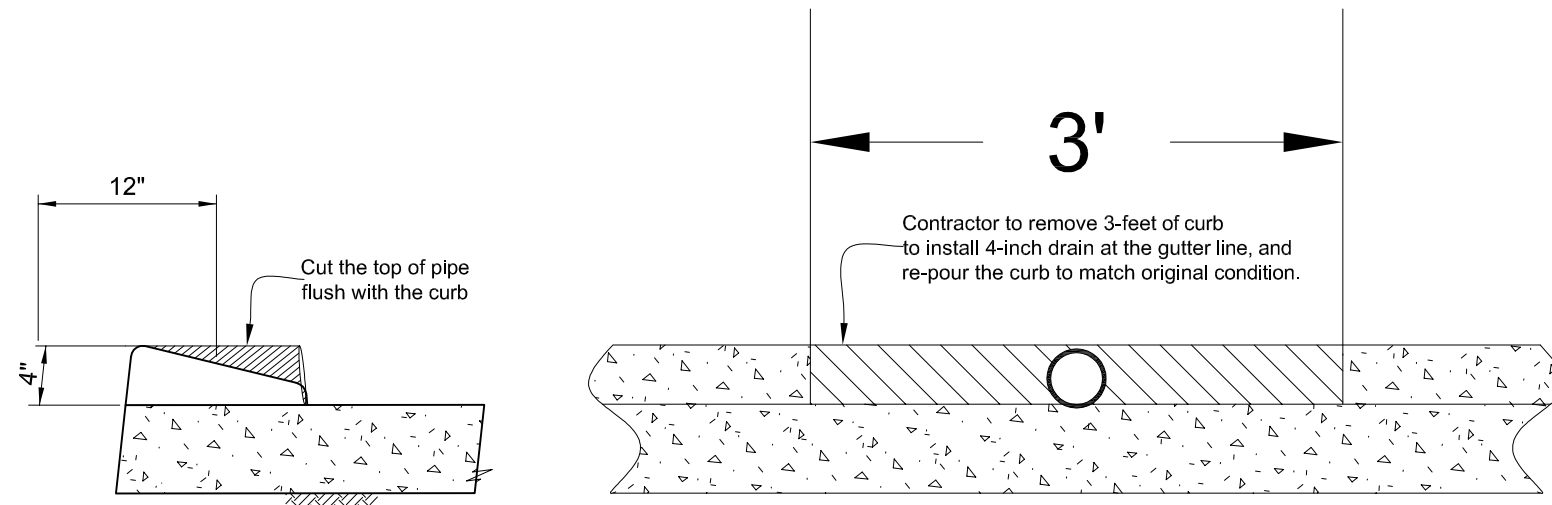


<b>Web Address:</b>	<b>1' Letters</b>
Font:	Myriad Pro
PMS:	7484 PC

72"

Scale: 1"=1'-0"

# Exhibit I - 1 Drainage Requirements



## Curb Cut for Drains HARPER'S PRESERVE

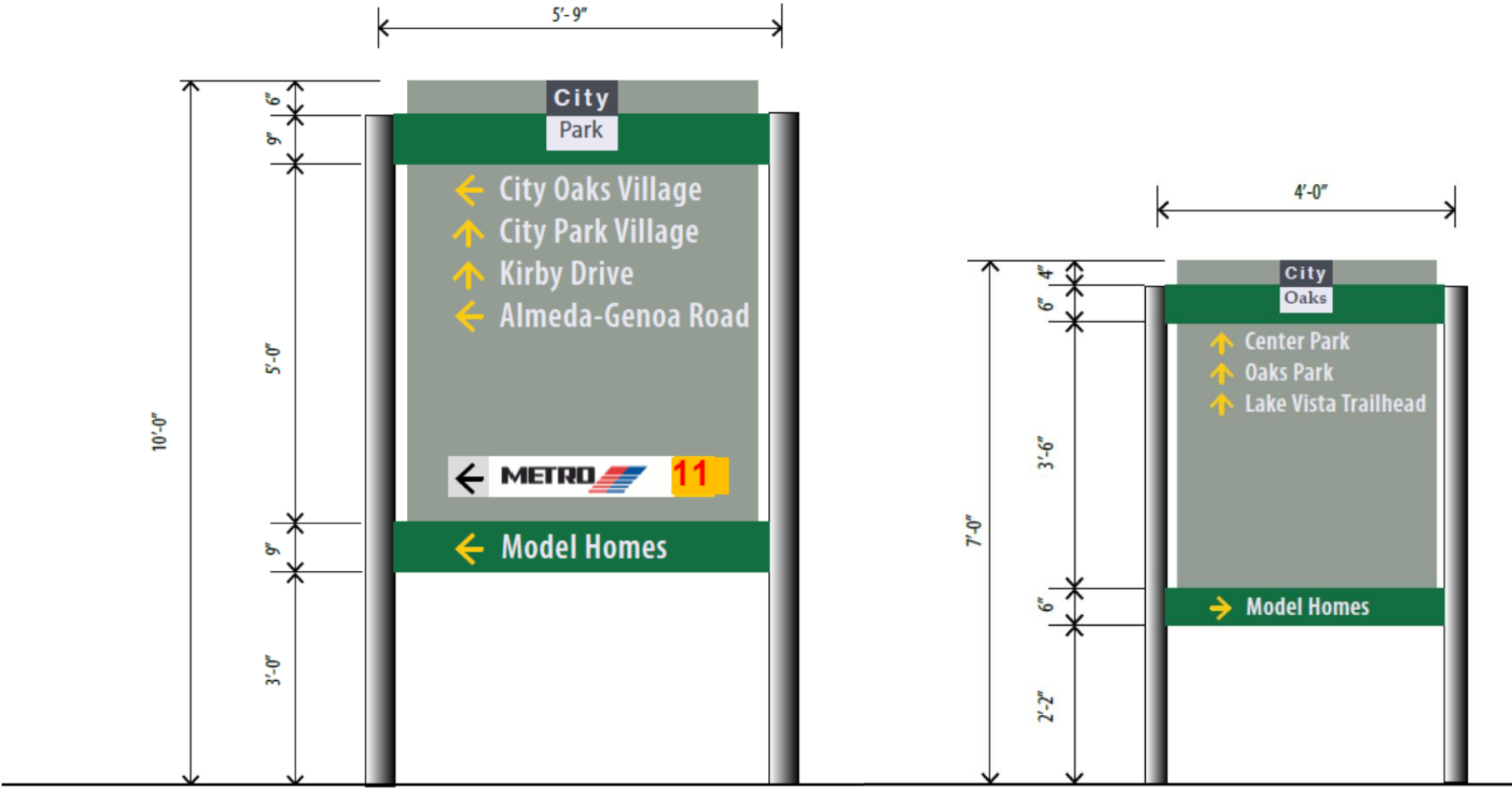
MONTGOMERY COUNTY, TEXAS  
AUGUST 2016



**JONES | CARTER**

Texas Board of Professional Engineers Registration No. F-439  
8701 New Trails Drive, Suite 200 • The Woodlands, Texas 77381  
281.363.4039





**Wayfinding Signs**

- Way Finding Sign Color Swatches:
- Solid Coated 7733 C
  - CMYK Coated P 177-4 C
  - CMYK Coated P 99-9 C
  - Color Bridge Cool Gray 10
  - Solid Coated 116 C
  - Solid Coated 198 C
  - Solid Coated Black 6 C
  - Solid Coated Cool Gray 1 C