

# Rules For Mystic Harbor Owner/Renters/Guest

The following is a list of rules adopted and approved by the Board of Directors of the Mystic Harbor Council of Co-Owners, Inc. All persons are expected to adhere to these rules. Said rules are not intended to reduce your enjoyment of the complex, but are instead intended to provide all a safe, clean and peaceful atmosphere in which to relax and reside.

1. **LOUD NOISES** – The city of Corpus Christi has an ordinance prohibiting loud noises and unruly behavior. All Mystic Harbor owners, rental tenants and guest are asked to keep noises at a minimum between the hours of 10:30 p.m. and 7:30 a.m.
2. **POOL & COURTYARD** – Rules governing the use of the pool and courtyard are posted in the courtyard area. The majority of these rules are necessitated by State Code, as well as our liability insurance policy, and must be obeyed to reduce the possibility of lawsuits.  
**ABSOLUTELY NO GLASS CONTAINERS ALLOWED IN THIS AREA. NO PETS ARE ALLOWED IN THE POOL, OR IN THE FENCED COURTYARD AREA. \$100.00 FINE PER OCCURRENCE (PLUS ANY EXPENSES INCURRED)**
3. **NIGHT FISHING FROM THE DOCKS** – Persons fishing from the docks after 10:30 p.m. are asked to be considerate of those who are trying to sleep. Each person is responsible for the disposal of all bait, fish parts, etc. Fish carcasses may NOT be thrown in the canals per PIPOA regulations. Please put them in a closed bag and dispose of in the dumpster in the parking lot.
4. **BOAT CLEANING & FISH CLEANING AREAS** – All water to the complex is provided as a common expense to all owners. Please do not allow water hoses to run continuously and **REMEMBER TO TURN OFF, ROLL UP AND REPLACE THE HOSE WHEN FINISHED.**
5. **PARKING** – Parking is limited. The East end of the lot is reserved for boats, and one space at the West end is designated for boat cleaning spaces. Parking directly in front of the entryway should be restricted solely to picking up and dropping off a person.
6. **FRONT ENTRY** – (**GROUND FLOOR LOBBY**) This area is cooled by the same system that services the telephone equipment room. Leaving the entry door "propped" open for an extended period of time causes overheating of the telephone equipment, excessive air conditioning bills and nullifies security. Under no circumstances should the door be propped open for more time than is needed to transfer your belongings.
7. **PETS** – No pets allowed, except for **OWNERS ONLY**, per Mystic Harbor governing documents. Rental guests or Owner's guests that have pets will be asked to leave immediately and without reimbursement. **IT IS THE RESPONSIBILITY OF THE OWNER(S) AND RENTAL COMPANIES TO FORWARD THESE RULES TO RENTERS.**

8. **OUTDOOR COOKING** – The City Fire Prevention Code requires barbeque grills used at multi-family dwellings to be at least 10 feet from any building or structure. For this reason, cooking on back decks is not permitted. Grills located by the boat docks are provided for your use. Please clean after use.
9. **ELEVATORS/WALKWAYS** – Running or playing on the walkways or in the elevators is not safe and disturbs other residents. Please do not allow your children to do this. Doors to the stairwells must stay closed at all times.
10. **TRASH** – Please take your trash directly out to the dumpster. Trash left in the walkways will attract ants, rodents, and other pests.
11. **CONDO RENTALS** – Owners that use their condo as rentals will be held responsible for any property damage.
12. **DOCKS/BOAT SLIPS** – The docks are common areas and are maintained by the HOA. There are a few boat slips that are deeded to specific units. The non-deeded boat slips are available on a first come, first served basis, per Mystic Harbor governing documents. The owners of the deeded slips have the right to their slip and can request an unauthorized user to immediately move.

- ❖ The deeded boat slips may not be leased, rented, or sold separately unless to another owner of record. The deeded boat slips may not be used for the storing of boats, except by an Owner or Owner's guest of said deeded slip.
- ❖ ANY VARIANCE TO THESE RULES MUST BE APPROVED BY THE BOARD OF DIRECTORS, OTHERWISE ALL UNAUTHORIZED BOATS WILL BE REMOVED FROM THE PROPERTY AT THE OWNER'S EXPENSE.

**\*\*\*MYSTIC HARBOR WILL NOT BE RESPONSIBLE FOR LOST OR STOLEN ITEMS OF ANY NATURE IN THE PARKING LOT OR COMMON AREAS\*\*\***

**LATE FEE SCHEDULE**

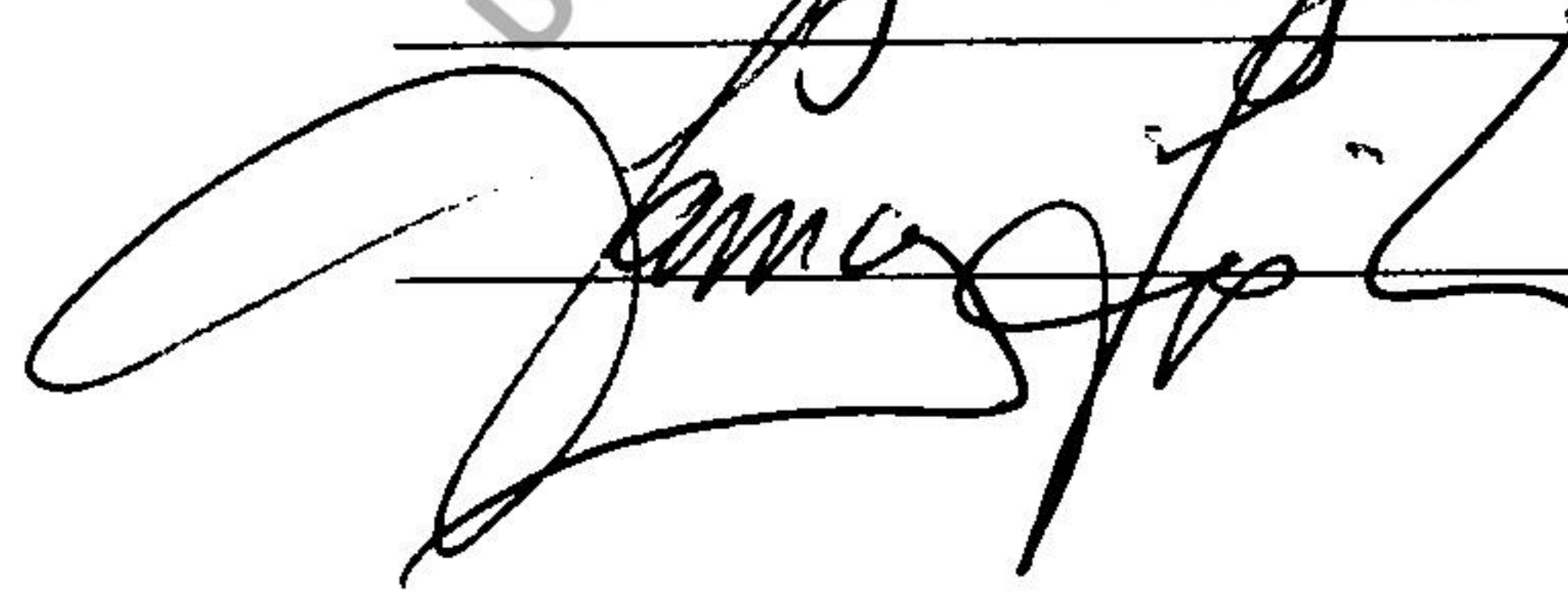
**30 Days Late - \$25.00 Fine**  
**60 Days Late - \$50.00 Fine**  
**90 Days Late - \$100.00 Fine**

**Revised JND/GLG 3/24/21**

IN WITNESS WHEREOF, the undersigned, in each capacity indicated and stated, have executed this Statement of Unanimous Consent to be effective as of the 11<sup>th</sup> day of May, 2021.

 \_\_\_\_\_, Director

 \_\_\_\_\_, Director

 \_\_\_\_\_, Director

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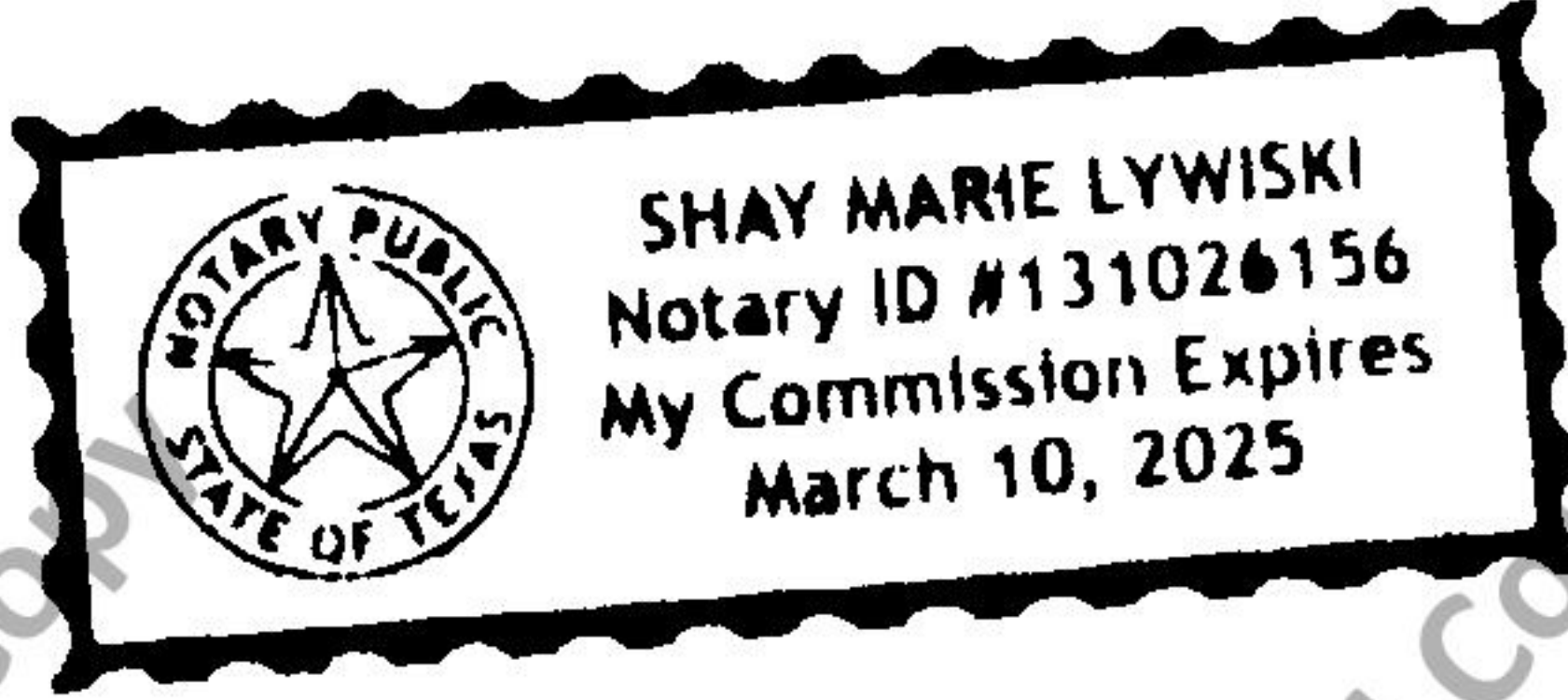
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Acknowledgements

STATE OF TEXAS

COUNTY OF NUECES

This instrument was acknowledged before me on the 17<sup>th</sup> day of May, 2021  
by Larry Thomison (Director) of Mystic Harbor Homeowners Association, Inc., a  
Texas non-profit corporation, on behalf of said entity.

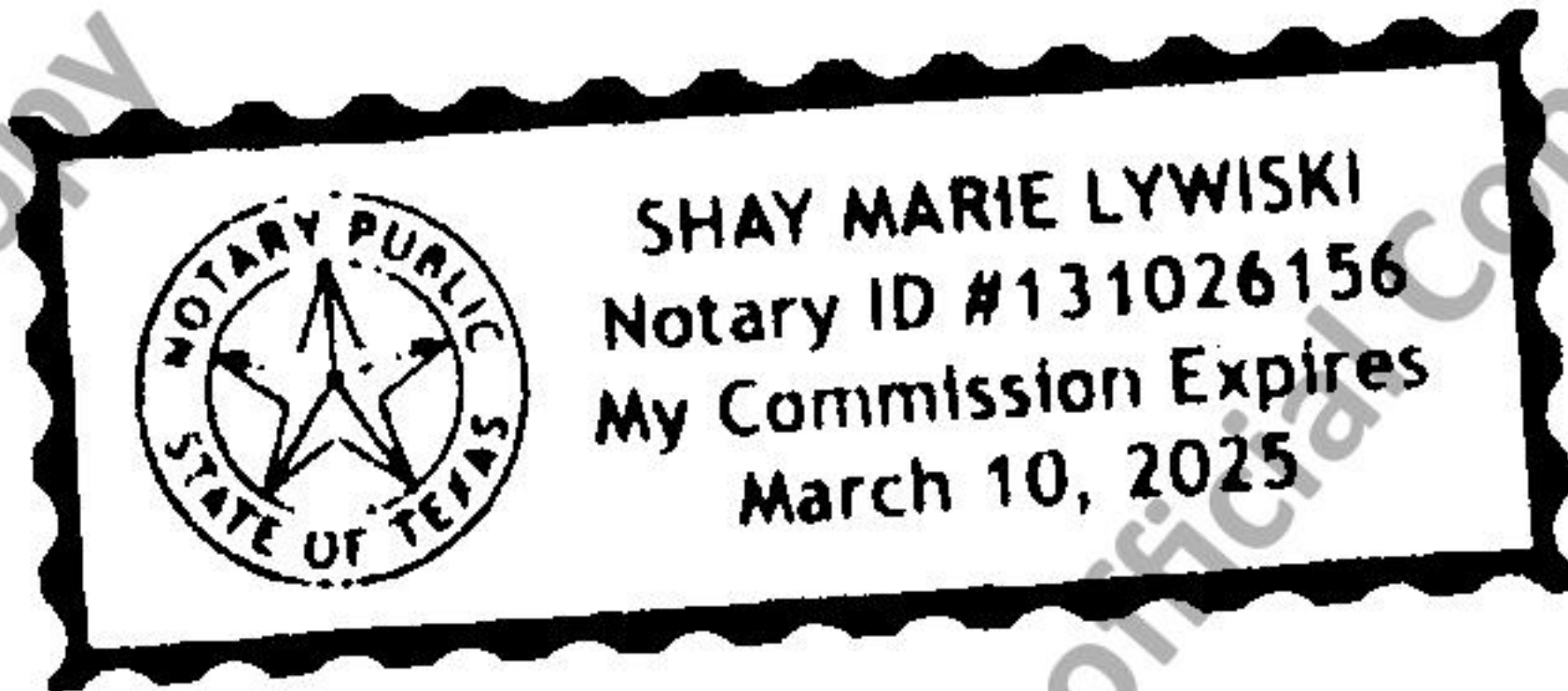


Shay Marie Lywiski  
Notary Public, State of Texas

STATE OF TEXAS

COUNTY OF NUECES

This instrument was acknowledged before me on the 17<sup>th</sup> day of May, 2021  
by Tamay Tipton (Director) of Mystic Harbor Homeowners Association, Inc., a  
Texas non-profit corporation, on behalf of said entity.

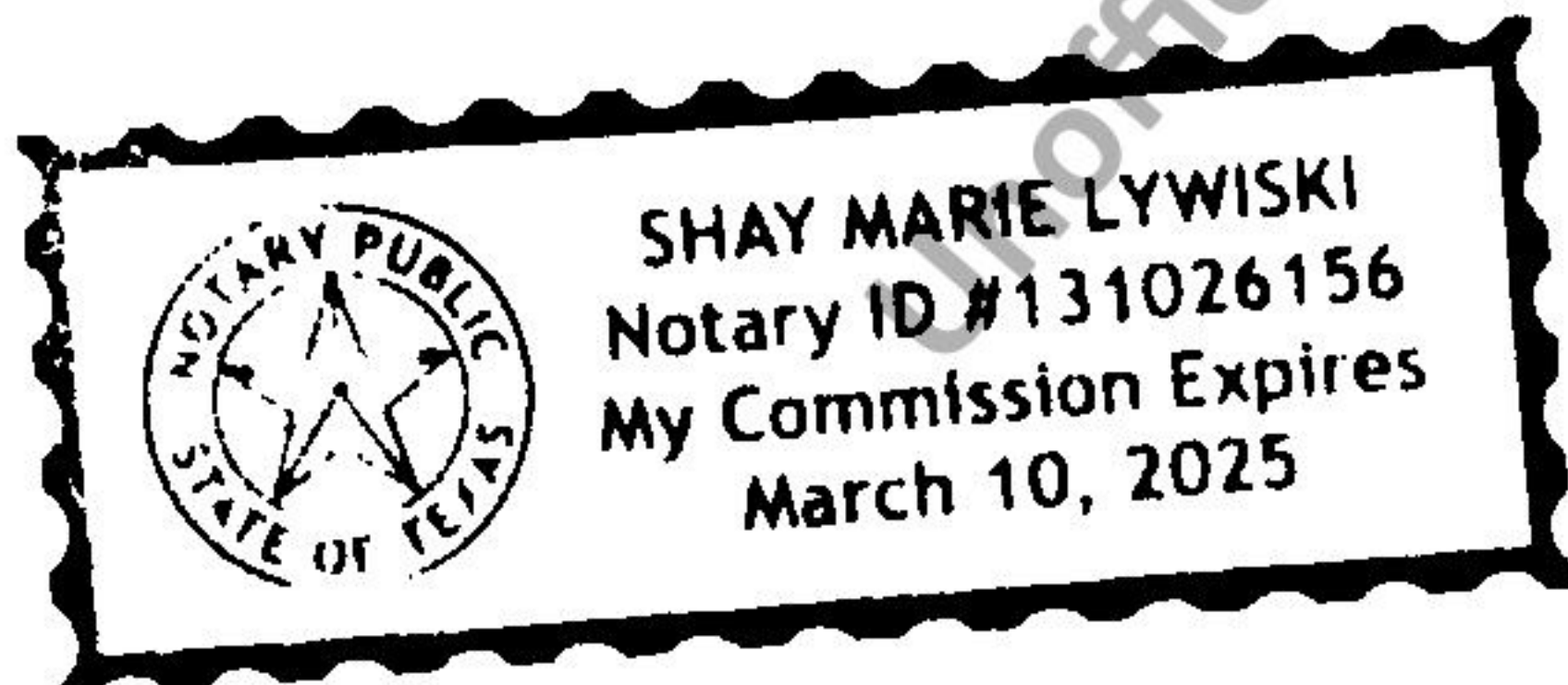


Shay Marie Lywiski  
Notary Public, State of Texas

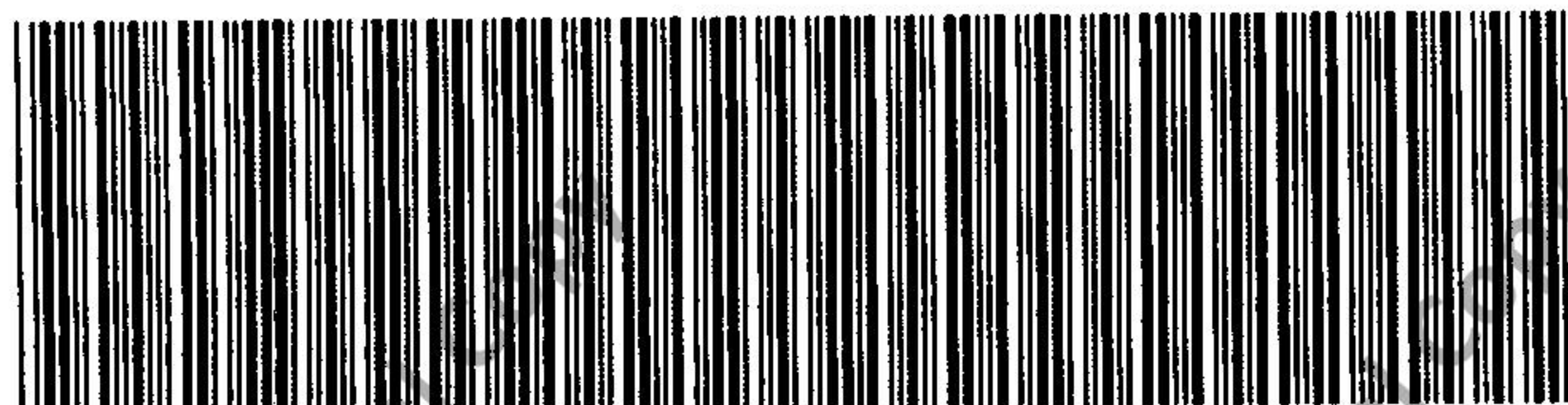
STATE OF TEXAS

COUNTY OF NUECES

This instrument was acknowledged before me on the 17<sup>th</sup> day of May, 2021  
by Wayne Hojnacki (Director) of Mystic Harbor Homeowners Association, Inc., a  
Texas non-profit corporation, on behalf of said entity.



Shay Marie Lywiski  
Notary Public, State of Texas



\*VG-174-2021-2021026361\*

Nueces County  
Kara Sands  
Nueces County Clerk

Instrument Number: 2021026361

Official Public Records

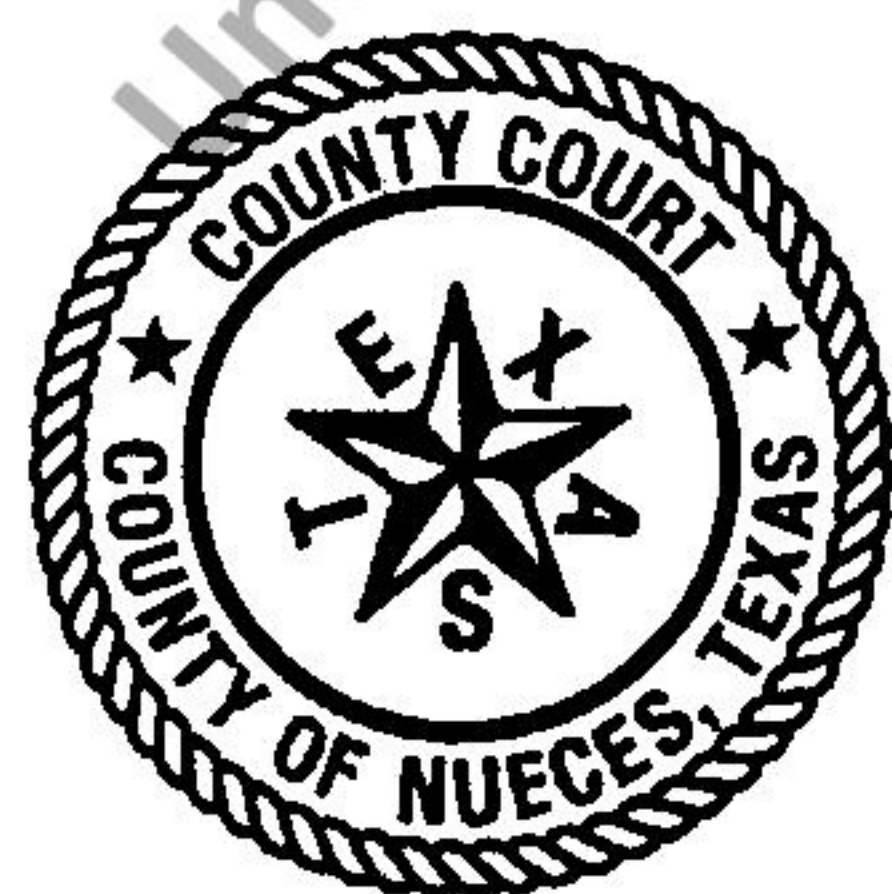
RESTRICTIONS

Recorded On: May 24, 2021 03:25 PM

Number of Pages: 5

" Examined and Charged as Follows: "

Total Recording: \$33.00



STATE OF TEXAS  
Nueces County

I hereby certify that this Instrument was filed in the File Number sequence on the date/time printed hereon, and was duly recorded in the Official Records of Nueces County, Texas

Kara Sands  
Nueces County Clerk  
Nueces County, TX

\*\*\*\*\* THIS PAGE IS PART OF THE INSTRUMENT \*\*\*\*\*

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

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14613 SOUTH PADRE ISLAND DR  
CORPUS CHRISTI TX 78418