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# NAVARRO RANCH


## DESIGN GUIDELINES [RESIDENTIAL]

Adopted:

DECLARANT:

LENNAR HOMES OF TEXAS LAND AND  
CONSTRUCTION, LTD.,  
a Texas limited partnership

By: U.S. Home Corporation,  
a Delaware corporation,  
its general partner

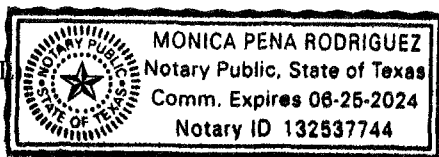
By:   
Printed Name: A Jones Holcomb  
Title: Authorized Agent

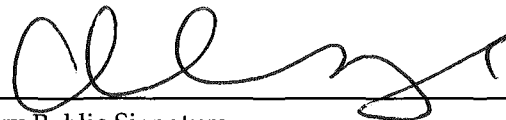
THE STATE OF TEXAS §

COUNTY OF Bexar §

This instrument was acknowledged before me on this 13 day of October, 2021, by Jones Holcomb, Authorized Agent of U.S. Home Corporation, a Delaware corporation, general partner of Lennar Homes of Texas Land and Construction, LTD., a Texas limited partnership, on behalf of said entities.

(SEAL)



  
Notary Public Signature

Adopted by Declarant in accordance with Section 6.4.2 of Navarro Ranch Master Covenant, recorded as Document No. 202199037189, Official Public Records of Guadalupe County, Texas (the "Covenant").

# NAVARRO RANCH

## DESIGN GUIDELINES

### [RESIDENTIAL]

#### I. Introduction

Any notice or information required to be submitted to the Navarro Ranch Reviewer under these Design Guidelines hereunder will be submitted to the Navarro Ranch Reviewer, c/o Lennar Homes of Texas Land and Construction, Attention: Richard Mott, 1922 Dry Creek Way, Suite 101, San Antonio, TX 78259, Phone: (210) 403-6282, Email: [richard.mott@lennar.com](mailto:richard.mott@lennar.com).

#### A. Background

Navarro Ranch is a master planned community located in Guadalupe County, Texas. The community consists of Development Areas which are subject to the terms and provisions of Navarro Ranch Master Covenant, recorded in the Official Public Records of Guadalupe County, Texas (the "Covenant") and the Development Area Declaration for Navarro Ranch [Residential], recorded in the Official Public Records of Guadalupe County, Texas (the "Development Area Declaration") pursuant to the Recording of one or more Notices of Applicability in accordance with *Section 9.5* of the Covenant. The Covenant and each Development Area Declaration includes provisions governing the construction of improvements and standards of maintenance, use and conduct for the preservation of the Navarro Ranch community.

#### B. Navarro Ranch Reviewer and Review Authority

Navarro Ranch Reviewer is **LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.**, a Texas limited partnership (the "Declarant"), or Declarant's designee. As provided in *Article 6* of the Covenant, Declarant has a substantial interest in ensuring that improvements within Navarro Ranch development maintain and enhance Declarant's reputation as a community developer and do not impair Declarant's ability to market and sell all or any portion of the community, and as a consequence thereof, Navarro Ranch Reviewer acts solely in Declarant's interest and shall owe no duty to any other Owner or Navarro Ranch Community Association, Inc. (the "Association").

*Article 6* of the Covenant includes procedures and criteria for the construction of improvements within the Navarro Ranch community. *Section 6.4.2* of the Covenant provides that the Declarant or the Navarro Ranch Reviewer may adopt Design Guidelines to govern the standards for design, construction of Improvements, landscaping, and the placement of exterior items within Navarro Ranch which may consist of multiple written design guidelines applying to all or specific portions of the Development. These Design Guidelines constitute Design Guidelines as such term is defined and used in the Covenant. *Section 3.1* of the Development Area Declaration provides that any and all improvements must be erected, placed, constructed, painted, altered, modified or remodeled in strict compliance with the requirements of the Design Guidelines, and *Section 6.4* of the Covenant and *Section 3.1* of the Development Area Declaration provides that no improvements may be constructed without prior approval of the Hidden Trails Reviewer.

These Design Guidelines have been adopted by Declarant and will apply only to Lots within the Development Area which will be used for residential purposes. Supplements to these Design Guidelines may be adopted for specific Development Areas within the Development. Each supplement shall be in addition to the terms and provisions of the Design Guidelines. In the event of a conflict between the terms of the Design Guidelines and any supplement to these Design Guidelines, the terms of the applicable supplement will control.

As provided in *Article 6* of the Covenant, Declarant has a substantial interest in ensuring that improvements within Navarro Ranch maintain and enhance Declarant’s reputation as a community developer and do not impair Declarant’s ability to market and sell all or any portion of the Community and as a consequence thereof, the Navarro Ranch Reviewer acts solely in Declarant’s interest and shall owe no duty to any other owner or the Association.

## **II. Governmental Requirements**

Governmental ordinances and regulations are applicable to all Lots within Navarro Ranch. It is the responsibility of each Owner to obtain all necessary permits and inspections and to comply with all Applicable Law (as further defined in the Covenant). Please be advised that these Design Guidelines do not list or describe each requirement which may be applicable to a Lot within Navarro Ranch. Each Homebuilder and Owner is advised to review all encumbrances affecting the use and improvement of their Lot prior to submitting plans to Navarro Ranch Reviewer for approval. Furthermore, approval by Navarro Ranch Reviewer should not be construed by the Homebuilder or Owner to mean that any Improvement complies with the terms and provisions of all encumbrances which may affect a particular Lot.

Navarro Ranch Reviewer shall bear no responsibility for ensuring plans submitted to the Navarro Ranch Reviewer comply with any applicable building codes, zoning regulation and other government requirements. It is the responsibility of the Homebuilder or Owner to secure any required governmental approvals prior to construction on an Owner’s Lot.

## **III. Interpretation**

In the event of any conflict between these Design Guidelines and a Development Area Declaration, the Development Area Declaration shall control. Capitalized terms used in these Design Guidelines but not defined in this document shall have the same meaning as set forth in a Development Area Declaration.

## **IV. Architectural Review Overview**

### **A. Objective**

The objective of the review process is to promote aesthetic harmony in the community by providing for compatibility of specific designs with surrounding buildings, the environment and the topography. The review process strives to maintain objectivity and sensitivity to the individual aspects of design.

## **B. Responsibility for Compliance**

An applicant is responsible for ensuring that all of the applicant's representatives, including the applicant's architect, engineer, contractors, subcontractors, and their agents and employees, are aware of these Design Guidelines and all requirements imposed by the Navarro Ranch Reviewer as a condition of approval.

## **C. Inspection**

Upon completion of all approved work, the Owner/Homebuilder must notify the Navarro Ranch Reviewer. The Navarro Ranch Reviewer may inspect the work at any time to verify conformance with the approved submittals.

## **D. Submittals**

Requests for approval of proposed new construction, landscaping, or exterior modifications must be made by submitting the information and materials outlined in any plan review process set forth herein or in the Covenant.

## **E. Timing of Completion**

The construction of a residence by an Owner or Homebuilder must be started promptly after receiving approval from the Navarro Ranch Reviewer and completed with due diligence. Unless otherwise approved in advance by the Navarro Ranch Reviewer, each single family residence must be completed on or before the expiration of one hundred and eighty (180) days after commencement of construction.

## **F. Homebuilder-Specific Submission Procedures**

The following procedures apply specifically to submissions by Homebuilders:

Only complete submittals will be reviewed. All drawings shall be drawn to scale. Faxed materials will be accepted for preliminary home design and plot plan change approvals only. Variances must be requested in writing in accordance with the Covenant.

### Production Homes

Production home plans must be approved by the Navarro Ranch Reviewer in advance and in writing for each community and each neighborhood for which they are proposed.

- Architectural Design:

The Navarro Ranch Reviewer requires one set of the following for production home plan submittals:

- Floor Plans on 11" x 17" sheets.
- Elevations on 11" x 17" sheets. All building elevations are required. Elevations shall have complete notations of all exterior materials (including but not limited to walls,

doors, roof, windows, fascia, dormers, chimneys and decorative elements).

- Upon approval of a production home floor plan and series of elevations, only site/plot plan approvals are required for each home.
- Site/Plot Plan:

The design for each Site/Plot Plan must be approved by the Navarro Ranch Reviewer in writing before construction of the residence can begin. The Architectural review process submittal requirements include:

- Location and dimension of all setbacks, easements and building lines.
- Location, dimension and material notation for all sidewalks, walkways, driveways, patios, and all other exterior flatwork.
- Total area of lot, total area (in square feet) and percentage of lot coverage of all impervious cover (as listed above plus home and garage (if any) foundation footprint).
- Proposed location, height, and material of each exterior fence or wall.
- Lot number, block number, section number, and builder name must be clearly printed on the first page of the submittal.

## V. Site Planning

### A. Minimum Building Setbacks

Site plans must conform to restrictions set forth in the Covenant, the recorded subdivision plat, easements dedicated by separate instruments, all Guadalupe County ordinances and these Design Guidelines. Declarant reserves the right to modify setback requirements which may exceed the minimum requirements noted on the recorded subdivision plat. Typical setbacks are measured from property line to exterior wall or slab edge (not roof eave) and are as follows:

Typical Lot Width	Setback			
	Front	Side (Corner Lot)	Side (Internal Lot)	Rear
40'	15.0'	See Plat	5.0'	10.0'
45'	15.0'	See Plat	5.0'	10.0'
50'	20.0'	See Plat	5.0'	10.0'
60'	20.0'	See Plat	5.0'	10.0'

If additional lot width programs are introduced to the Navarro Ranch, setbacks may be incorporated by supplement to these Design Guidelines.

## B. Lot Coverage

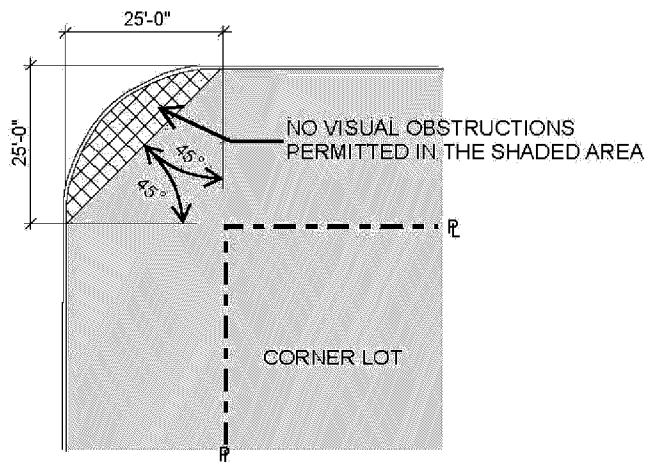
The common area on a lot must be left natural if in a wooded area. Regardless of whether a lot is located in a wooded area or plains area, the criteria within the Landscape section of these Design Guidelines must be met. See *Article VII* for the landscape requirements applicable to the Lot Program.

## C. Corner Lots and Intersections

Corner Lots. Garages and driveways on corner Lots (if any) shall be located adjacent to the interior property line rather than the property line adjacent to the side street. *“Side out” garages to the side street are prohibited.*

Intersections. Intersection areas shall be unobstructed to permit visibility of pedestrians and vehicles. No trees or other potentially opaque landscaping is permitted in an area twenty-five (25) feet in distance from each street at the corner.

[Figure 1]



## D. Sidewalks, Front Walkways, and Steps/Retaining Walls

### Sidewalks.

- Sidewalks are required in all public street rights-of-way of Navarro Ranch. Sidewalks shall be four (4) feet wide, with a maximum 2% cross slope and broom finish. **The sidewalk shall be adjacent to the curb.**
- Curved sidewalks are permitted only where streets curve, right-of-way widths change or other site factors necessitate. Only gentle curves sections are permitted.
- Where walkways intersect manholes, the sidewalk shall be adjusted such that the manhole is centered in the sidewalk. The elevation of manholes or other objects located within a sidewalk shall be adjusted to maintain a flush surface with the sidewalk. This will typically require the removal and resetting of the manhole ring.

Front Walkways.

- The walkway from the street curb or driveway to the front door is required and shall be three (3) minimum in width with a continuous slope from the edge of the porch to the street. Walkway connecting street curb to front door shall be a minimum of three (3') feet from driveway, if less than three (3') feet then sidewalk shall connect to driveway.
- The walkway may be constructed of concrete, non-slip brick pavers or natural stone. The concrete must be in the same finish as the sidewalk and driveway. Patterned concrete is not acceptable.
- Any curvilinear elements shall be shown on the site plan.

**E. Driveway Locations**Driveways.

- Design: All driveway designs are subject to review by the Navarro Ranch Reviewer.
- Location: A driveway master plan for a development section may be provided by Declarant. Location variances may be requested in writing and must include justification for deviating from the desired driveway location (such as construction conflicts of inlets, fire hydrants, flushing valves, manholes, etc.).
- Curb Style: Homebuilder must saw-cut curb and tie in driveway steel in accordance with city and/or county standards. Homebuilder is solely responsible and shall repair damaged curbs and gutters which cause ponding water ("bird baths") resulting from their construction activities.
- Width:
  - If attached to front loaded double car garage, the driveway width must be sixteen (16) feet wide at front property line.
  - Any other configurations (including hook-ins or three car driveways) are subject to Navarro Ranch Reviewer review and approval.
- Setback (between the driveway and the adjacent side property line):
  - Front loading and side by side driveways – minimum five (5) foot side lot setback.
- Materials and Finish: Concrete with broom finish or other masonry materials as approved by the Navarro Ranch Reviewer (e.g. interlocking pavers, and brick borders) relating to the architecture of the home and other site materials. Materials other than standard concrete must be submitted to the Navarro Ranch Reviewer for approval.

## F. Fences and Gates

### Fencing.

- Materials:
  - Fencing must have 4" x 4" treated pine posts and stringers, with posts on eight (8) foot centers and a minimum of two stringers. The top stringer shall be a maximum of 16'0" to prevent sagging. Pickets to be 1/2" x 4" or 3/4" x 4" cedar (Davaron No. 2 grade picket or equal).
- Height:
  - Typically limited to six (6) feet nominal measurement above natural grade.
  - Homebuilder may be required to construct eight (8) foot high fences where perimeter conditions warrant.
- Location
  - Fence must be set at a minimum from the rear corner of the home, but no further back than the mid-point of the home.
  - The fence perpendicular to the side street (parallel to the front street) may be set back as necessary to provide for access to public utility meters, but must be far enough forward to screen the air conditioning units. However, in no case may the fence be closer than five (5) feet behind the front of the home, and further back than the mid-point of the home.

### Special Conditions.

- The finished side of a fence shall always face the exterior or public side. Any exposures to common area, ditches, or detention basins will be considered public view.
- Where residential Lots are located adjacent to commercial, institutional, or other public sites, the finished side of a fence shall always face the non-residential use.
- Breezeway fences connecting detached garages to the main residence (if any) may be ornamental steel or wood. Fence may be four (4) feet or six (6) feet.

### Gates.

- One (1) pedestrian gate shall be required to allow access between front and rear yards. Gates are permitted to access adjacent common area but shall not be located adjacent to public rights-of-way with landscape setbacks. Additional pedestrian gates are allowed on the front of the home subject to Navarro Ranch Reviewer approval.
- Gates shall be constructed as follows:

- Same materials, quality and height as the adjoining fence.
- Width not to exceed forty-two (42) inches without Navarro Ranch Reviewer approval.

**G. Landscape Requirements**

*The Landscape Requirements are set forth in Article VII of these Design Guidelines.*

**H. Lot Drainage**

Finished lot drainage is the sole responsibility of the builder and includes the following requirements:

- Positive drainage flow shall be established and directed away from structures using swales.
- Drainage runoff onto adjoining Lots is prohibited.
- If additional drainage improvements are necessary, area drains are recommended.

Declarant endeavors to provide engineered and developed Lots that enable builders to achieve positive site drainage. In some circumstances, drainage may be directed to property at the rear of Lots, permissible only when approved by Guadalupe County.

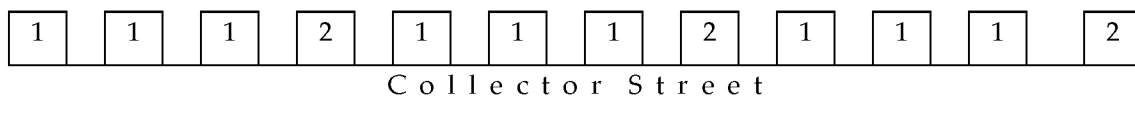
**I. Architectural Design and Materials**

Appropriate variety and individuality is encouraged in home architecture. Requirements for specific neighborhoods, sections or Development Areas may supersede the requirements of this section to reinforce a particular architectural theme.

**J. Massing of Home/Scale/Proportions**

The massing of a home shall be reasonably scaled to the street and the surrounding homes. Homes shall have massing variations and avoid the “straight box” design. Pieces of the home shall be scaled appropriately to each other. With respect to production homes, attached garages (if any) shall protrude no more than 10 feet from the front plane of the main residence.

- Collector Street Repetition: Streets with homes that are adjacent or back to a collector street shall be designed with a minimum of seventy-five percent (75%) of the homes being one-story and twenty-five percent (25%) being two-story. For example, if a street consists of twelve (12) Lots then nine (9) of those Lots shall be one-story homes with the other three (3) two-story homes. Best efforts shall be made to break up the two-story homes; see example below.



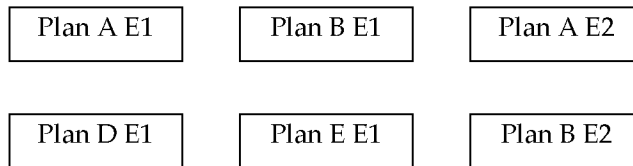
- Corner Lots: Homes located on corner Lots shall be limited to single story homes unless the builder receives prior, written approval from the Navarro Ranch Reviewer. See Exhibit "B".

**K. Exterior Elevations and Materials**

- Exterior Elevations: Exterior elevations shall include a variety of major and minor architectural features. Major architectural features include but are not limited to: roof pitch or style (i.e. hip, gable), porches, dormers, entry portico, change of material and window bay. Minor architectural features include but are not limited to: window style (i.e. flat or arched), front door style, garage door style, shutters and decorative detail (i.e. gable inset). To be considered distinct from a similar elevation, an elevation shall include two (2) major architectural differences and two (2) minor architectural differences.
- Plan & Elevation Repetition: Navarro Ranch Reviewer may, in its sole and absolute discretion, deny a plan or elevation proposed for a particular Lot if a substantially similar plan or elevation exists on a Lot in close proximity to the Lot on which the plan or elevation is proposed. Navarro Ranch Reviewer may adopt additional requirements concerning substantially similar plans or elevations constructed in proximity to each other. For example, concerning substantially similar plans or elevations constructed in proximity to each other:

- Plan can be repeated every second Lot with a different elevation

(Example: Plan A E1, Plan B E1, and Plan A E2).



- Across the Street: Same plan cannot be placed on a Lot across the street or diagonal from any other plan. If same plan is across the street it must be at least two Lots away and have a different elevation.
- Exterior Materials
  - All homes shall be constructed of at a minimum cementitious siding product, including Lap Siding or Board & Batten siding; provided, no home is constructed of Panel Siding. One hundred percent (100%) cementitious siding is permitted.

**L. Entrances and Windows**

- Entrances: All openings in a structure such as windows and doors shall relate to each other on all elevations both vertically and horizontally. This shall occur in some clearly defined order, and scattered or random placements shall be avoided. Both entrances and

windows shall be in proportion as they relate to the building mass as a whole. All sides of a home shall receive equal design consideration. Reflective glass is prohibited.

- Windows & Shutters: Windows, like entrances, shall be compatible with the overall building mass and architectural character and quality of the elevation.

If shutters are incorporated as part of the design, they shall be appropriately scaled to relate to the window opening and appear authentic. They must also always occur in pairs. The shutter color must harmonize with the other colors on the home.

Windows on the front elevation (first and second floors) must be consistent with the design of the elevation of the homes. Windows on other elevations may be divided lite or single pane, bronze, white bronze, white and beige.

## M. Roof Treatment and Overhangs

- Materials: Notwithstanding the subsequent provisions, the installation of "Energy Efficient Roofing", as described in *Section 3.6* of a Development Area Declaration is permitted with the advanced, written approval of the Navarro Ranch Reviewer.
  - Twenty-five (25) year warranty, composition asphalt shingles in the Weatherwood color. All shingles within a given neighborhood shall be the same color. The asphalt shingles may be 3-tab or dimensional.
  - Metal roofing is permitted if appropriate to the style of architecture and is approved by the Navarro Ranch Reviewer.
- Form: The form and massing of the roof shall have a logical relationship to the style and massing of the home. Roof pitches shall meet applicable codes, but must be a minimum of 6 in 12 and not steeper than 12 in 12 for the main body of the roof.

The roof height shall not exceed  $\frac{3}{4}$  of the total elevation area for single story homes and  $\frac{1}{2}$  the total elevation area two story homes.

Fascia depths shall be in scale with the mass of the elevation, but the face of the fascia board must be at least 6 inches (nominal) in size.

- Overhangs: Overhangs shall be compatible with the architecture of the home and function as shading devices. Care shall be taken not to exaggerate their lengths or provide too small of an overhang. Overhangs shall be more pronounced on eave conditions while rake conditions shall receive a much more moderate overhang.
- Roof Penetrations: Roof vents, utility penetrations, or other roof protrusions must be painted to match the singles. Skylights shall not be visible from the front street.
- Gutters & Downspouts: Gutters and downspouts shall be strategically placed to minimize their visibility to the front street. Preferably, downspouts shall occur only at the rear and sides of a home. Placement on the front elevation shall be avoided as much as possible,

but may be used to avoid water runoff at front entrances.

Gutters and downspouts must match or be very similar to the color of the surface to which they are attached. Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts on standard Lots must be installed so water runoff does not adversely affect adjacent properties.

- Exposed Roof Metal/Antennas: All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color.

All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and shall be placed in a location which is least visible from adjoining property.

Roof-mounted ventilators shall be no higher than 10 inches above the roof surface.

## N. Chimneys

Chimneys must be constructed of materials that match the architectural style and color of the home. Acceptable materials include masonry, brick, stucco, wood or fiber-cement siding.

Spark arrestors and caps are required on all chimneys. The spark arrestor and cap shall be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction.

Heights of chimneys shall meet all fire code requirements and be proportional to the roofline of the respective home. Metal chimneys, if used, shall not exceed a maximum exposed height of 6 inches of chimney pipe nor a maximum height of 18 inches of total exposed metal including both chimney pipe and cap.

## O. Address Markers

- Visibility: The address number must be visible from the street. The scale of the address number may vary according to the scale of the home, but may be no larger than 6 inches in height and must be placed in a horizontal line. The street name is not permitted on the exterior of the home.
- Style: No particular letter type style is required, but numbers must be Arabic and must be easily read from the street.
- Location: The number for address identification shall be installed either next to the front door or on the front of the home. Internally-lit address numbers are not permitted.

## P. Lighting

The type, color, and quality of exterior lighting for the site and home must be consistent with other lighting on the property and in the neighborhood. Incandescent lighting is preferred. However, the

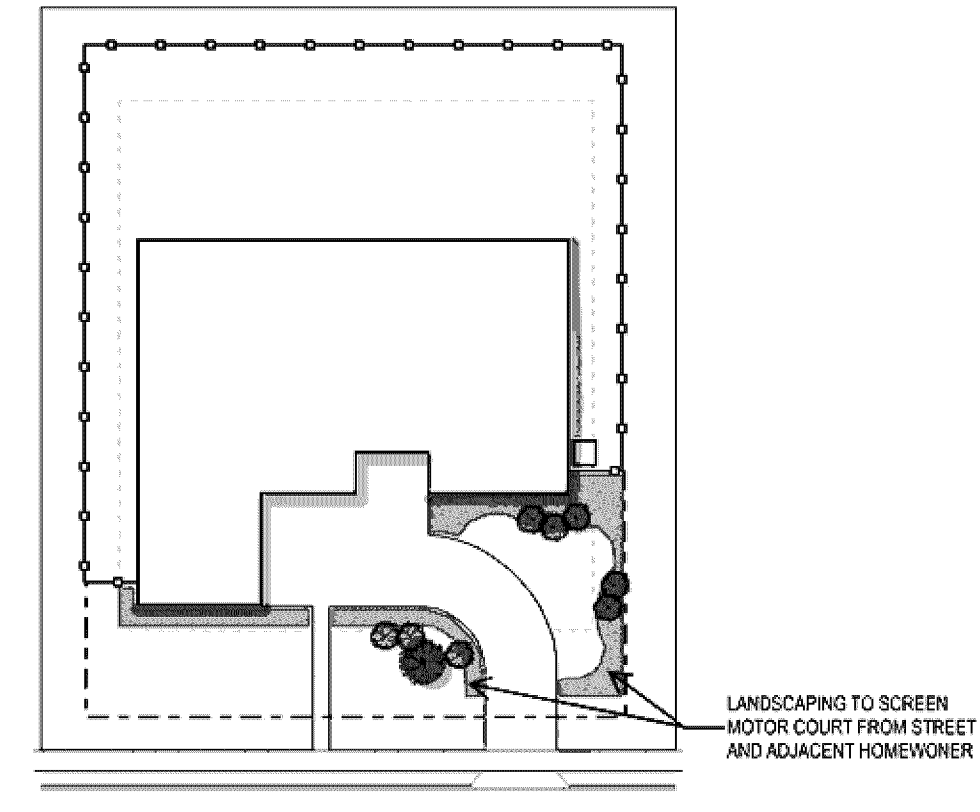
Navarro Ranch Reviewer recognizes that new lamps and bulbs are available and will review alternative types. No high-wattage, commercial/industrial-type fixtures, mercury vapor, or sodium-vapor light sources are allowed in any location.

- Floodlighting: Floodlighting fixtures must be attached to the home or other architectural structure and must not illuminate adjacent public or private properties. Lights must be directed downward and shielded to avoid "hot" glare spot visible by neighbors. Fixture and shield color shall be compatible with the building. Conduits and wiring must be concealed.
- Exterior Lighting Fixtures: All exterior light fixtures visible from the street or other public areas must be of an understated design that complements the architectural style of the residence.
- Walkway Lighting: Walkway lighting shall be an inconspicuous bollard or dome light design. The lamp may be incandescent (100w maximum), quartz (75w maximum), metal halide (75w maximum), fluorescent (25w maximum), or white L.E.D.

## **Q. Screening**

Fences, walls and landscaping are acceptable screening materials. All wood fences must be constructed in accordance with these Design Guidelines and screened with a combination of trees and shrubs.

- Driveway and Parking Areas: Approved motor courts must be screened with a combination of trees and shrubs to minimize the amount of paving visible from public area and shall be located no closer than five (5) feet to a property line. [Figure 10]



Driveway Motor Court  
Figure 10

## R. Exterior Colors

Color variety among homes is required. The Navarro Ranch Reviewer shall determine whether near or adjacent homes' exterior siding or trim colors are too similar to allow (*See Article IV, Section A*). No more than three colors (plus brick or stone color) shall be permitted. Trim color and field color must vary.

- Paint: Exterior paints and stains shall complement colors of other materials. Siding and trim shall generally stay within the earth tone color family. White and cream trim is permitted. Extremely bold or primary colors are prohibited. Bright yellow, blue, or green pastels are discouraged. Soft, muted earth tone pastel colors are acceptable.
- Brick: Acceptable brick colors are in the earth tone color family. Very dark colored brick is discouraged. No one brick color shall dominate a particular street scene. Variety in brick color is strongly encouraged. A brick color may be repeated every fifth home including same and opposite side of street.
- Stone Veneer: Stone Veneer shall be natural limestone or manufactured stone of similar color other regional stone color deemed appropriate with the project character as approved by the Navarro

Ranch Reviewer.

**S. Security Devices**

No security devices such as sirens and speaker boxes shall be visible from a public view and, if possible, shall be located inside the home. Security devices shall be the minimum effective size and be located unobtrusively. These Design Guidelines also prohibit security and/or burglar bars on the exterior of homes unless specifically approved by the Navarro Ranch Reviewer prior to installation.

**T. Solar Energy Devices**

The requirements for the installation of Solar Energy Devices are set forth in the Development Area Declaration.

**VI. Model Homes/Model Home Park**

**A. Model Home Layout**

- Modifications: Model home sale offices shall emulate the home to be sold as closely as possible. Before closing, all model modifications (including but not limited to front yard fencing, atrium doors in lieu of overhead garage doors, floodlights, etc.) must be removed and the home restored to a standard appearance.
- Yard Lights: Yard lights are required to illuminate model homes from dusk to 10:00 p.m. Other types of illumination may approved by the Navarro Ranch Reviewer.
- Fencing: Front yard fencing shall be metal picket, maximum four (4) feet in height. Rear yard wood fencing is allowed. All fence designs must be submitted to the Navarro Ranch Reviewer.
- Flag Poles: A maximum of one (1) flag pole per model home site, per builder will be allowed, displaying one (1) flag (U.S., Texas or builder flag). Building-mounted flagpoles are not permitted. Flagpoles shall be one piece construction with a silencer, telescopic, or designed with internal halyard and be brushed anodized aluminum not to exceed 50 feet in height with proportionate diameter. Flag length shall be one-fourth the height of the pole on which it is mounted. Flags and/or poles must be replaced when they become faded or worn.

**B. Maintenance: Model Home Exteriors and Landscaping**

- Model Homes Exterior: Exterior of model homes shall be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If, in the opinion of the Navarro Ranch Reviewer, areas of a model home require refurbishing, the Navarro Ranch Reviewer will give the respective home builder two weeks’ notice in writing in which to correct the deficiencies.
- Landscaping: Front and rear yards of all model homes shall be landscaped including fully sodded yards and foundation plant material. Front yard and street trees will be planted in accordance with previously promulgated rules of the Navarro Ranch Reviewer and these Design Guidelines.

A minimum of one (1) rear yard tree is required; provided, however, that all homes visible from a collector street shall have at least two (2) trees planted in the rear yards.

**C. Model Home/Homebuilder Signage**

- Model Home: One (1) yard sign per lot is allowed for the purpose of advertising a particular builder name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot.
- Lot Signage: Homebuilders will be allowed one (1) yard sign per builder, per Model Park. The sign may be a maximum of thirty-two (32) square feet in area. Base landscaping is required. The sign will be allowed for a period of time commensurate with the model homes sales program only. Model identification signs may not exceed three (3) square feet. In addition, one sign no larger than three (3) square feet may be used to indicate whether a model home is open or closed and the hours of operation only. This sign must be close to the front door.
- Directional Signage: Homebuilder may not place any directional signage on property belonging to Declarant, Navarro Ranch or Community signage, but shall rely on developer’s unified signage program.

*No additional signs, advertisements, billboards, or advertising structures of any kind shall be permitted. The Navarro Ranch Reviewer has the right to remove any sign, advertisement, billboard, or advertising structure which violates these restrictions. All model home signage packages must be submitted to the Navarro Ranch Reviewer for review and approval.*

**VII. Program-Specific Landscape Requirements**

Landscaping shall meet the applicable requirements of the city in which the Lots are located.

202199039043

I certify this instrument was ELECTRONICALLY FILED  
and RECORDED in the OFFICIAL PUBLIC RECORDS  
of Guadalupe County, Texas on  
11/12/2021 11:37:34 AM PAGES: 16 LEAH  
TERESA KIEL, COUNTY CLERK



*Teresa Kiel*